

**PROPOSED GROUP HOME WITH 8 DWELLINGS & COMMUNITY FACILITY  
LOT 64 CRAWFORD STREET, TAMWORTH**

## PROPERTY DESCRIPTION

LOT 64 / DP205692  
7 CRAWFORD STREET  
TAMWORTH REGIONAL COUNCIL  
**SITE AREA - 4330.m<sup>2</sup>**  
**SITE COVERAGE - 18.97%**

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## ARTISTS IMPRESSION - EXTERNAL

## SECTION J BCA REQUIREMENTS

(TO BE READ IN CONJUNCTION WITH SECTION J REPORT)

## INSULATION

- ROOF (LIGHT COLOUR WITH SA<0.45): REFLECTIVE SARKING / ANTICON BLANKET
- CEILING: R3.5
- EXTERNAL WALLS: R2.5 BULK INSULATION AND VAPOUR PERMEABLE SARKING
- FLOOR SLAB: NIL
- THERMAL BREAKS REQUIRED FOR STEEL FRAMED CONSTRUCTION: R0.2 (CLAD FRAMED WALLS ONLY)

## EXTERNAL WINDOWS & GLASS DOORS

- ALL FAÇADES:  $U=3.1$  SHGC=0.30
- GLAZING TO COMPLY WITH AS2047

## DRAUGHT SEALING

- EXTERNAL DOORS TO HAVE FOAM SEAL AROUND PERIMETER, DRAUGHT STOPPER ALONG BOTTOM EDGE AND SELF-CLOSER.
- BATHROOM EXHAUST FANS TO BE FITTED WITH A SELF-CLOSING DAMPER.

## AIR CONDITIONING & MECHANICAL VENTILATION SYSTEMS

- PACKAGE AC UNITS TO COMPLY WITH MEPS
- DUCTWORK (IF INSTALLED) TO BE INSULATED TO R2.0 (R3.0 WHERE EXPOSED TO SUNLIGHT)
- SINGLE CONDITIONED ZONE OR WHEN SERVING MORE THAN 1 ZONE, THERMOSTATICALLY CONTROL THE TEMPERATURE OF EACH ZONE IN ACCORDANCE WITH JS.2.4(i)(ii).
- ALL AC UNITS WITH A HEATING OR COOLING CAPACITY OF MORE THAN 2kWTR TO HAVE A TIME SWITCH CONTROLLER (REFER TO SPEC J6 OF BCA FOR DETAILS).
- MECHANICAL FRESH AIR VENTILATION TO COMPLY WITH AS 1668.2 AND AS/NZS 3666.

## INTERNAL LIGHTING & POWER CONTROL

- COMMUNAL / OFFICE AREAS - MAXIMUM ILLUMINATION POWER DENSITY OF 4.5 W/M<sup>2</sup>.
- 95% OF LIGHTING TO BE CONTROLLED BY A TIME SWITCH OR OCCUPANT SENSING DEVICE.
- MAXIMUM OF 250 SQ.M OF LIGHTING CONTROLLED PER LIGHT SWITCH.

## EXTERNAL LIGHTING

- ALL NEW EXTERNAL LIGHTING TO BE CONTROLLED BY EITHER A DAYLIGHT SENSOR OR TIME SWITCH AND WHERE TOTAL PERIMETER LIGHTING EXCEEDS 100W HAVE A MINIMUM OF 90% OF LIGHT FITTINGS TO BE LEOS OR BE CONTROLLED BY A MOTION SENSOR.
- FAÇADE LIGHTING OR ILLUMINATED SIGNS TO BE CONTROLLED BY A TIME SWITCH OR DAYLIGHT SENSOR.

## HOT WATER SUPPLY

- HEATED SANITARY WATER SYSTEMS TO BE DESIGNED AND INSTALLED AS PER PART B2 NCC VOL. 3

## BOILING / CHILLED WATER UNITS (IF ANY)

- TO BE CONTROLLED BY A TIME SWITCH.
- METERING OF GAS / ELECTRICITY**
- ELECTRICITY AND GAS METERS (AS REQUIRED) ARE TO BE INSTALLED.
  - SUB METERING IS NOT REQUIRED.



## LOCATION PLAN



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## GENERAL NOTES

ALL WINDOWS SHOWN AS VIEWED FROM OUTSIDE (REFER TO FLOOR PLANS FOR DOOR SWING)  
BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WINDOW FABRICATION

ALL WINDOWS TO COMPLY WITH AS2047, ALL GLAZING TO COMPLY WITH AS1288

ALL WINDOWS TO COMPLY WITH BASIN/ANNIERS REQUIREMENTS  
ALL GLAZING TO BE CLEAR UNLESS NOTED OTHERWISE

ALL WINDOW FRAMES SHALL BE SELECTED ALUMINIUM SUITES) IN POWDERCOATED FINISH (colour TBC)  
ALL OPENABLE GROUND- FLOOR WINDOWS, OTHER THAN HINGED GLAZED DOORS, SHALL BE LOCKABLE IN PARTLY OPEN POSITION (NO/100M OPENING) FOR VENTILATION WITH SECURITY  
ALL WINDOWS TO COMPLY WITH BCA REQ'S FOR Protection of operable windows  
PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS AND GLAZED DOORS

### BY LAWS AND CODES:

ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA (NATIONAL CONSTRUCTION CODE), CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS

THE FOLLOWING CODES ARE A RECOMMENDATION ONLY. ADDITIONAL CODES MAY BE REQUIRED:

AS 1288 GLASS IN BUILDINGS  
AS 1562 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING  
AS 1680 ARTIFICIAL LIGHTING & VENTILATION  
AS 1684 TIMBER FRAMING & VENTILATION  
AS 1926 POOL FENCING  
AS 2049 ROOF TILES  
AS 2050 INSTALLATION OF ROOF TILES  
AS 2070 RESIDENTIAL SLABS & FOOTINGS  
AS 2904 DAMP PROOF COURSES & FLASHINGS  
AS 3000 ELECTRICAL  
AS 3009 PLUMBING & DRAINAGE  
AS 3600 CONCRETE STRUCTURES  
AS 3660 BARRIERS FOR SUBSTERRANEAN TERMITES  
AS 3700 MASONRY IN BUILDINGS  
AS 3740 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS  
AS 3786 SMOKE ALARMS  
AS 3798 SITE PREPARATION  
AS 4655 WIND-BEARING FOR HOUSING  
STEEL STRUCTURES

### APPROVALS:

NO BUILDING WORK SHALL BE UNDERTAKEN PRIOR TO BUILDING APPROVAL BEING ISSUED BY A REGISTERED CERTIFIER OR LOCAL AUTHORITY.

### BUILDER/CONTRACTORS:

BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE PROPRIETORS REPRESENTATIVE.  
- USE WRITTEN DIMENSIONS ONLY  
- DO NOT SCALE OFF DRAWINGS.  
- IF IN DOUBT, ASK

BUILDER /CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS ON SITE PRIOR TO CONSTRUCTION. LEVELS SHOWN ON DRAWINGS ARE RECOMMENDED AND APPROXIMATE ONLY. IT SHALL BE THE BUILDERS / CONTRACTORS RESPONSIBILITY TO ENSURE THAT CORRECT GRADES ARE ATTAINED ON SITE.

BUILDER /CONTRACTOR SHALL CHECK & VERIFY THE Siting & ORIENTATION PRIOR TO CONSTRUCTION SETOUT. CONSTRUCTION SETOUT TO BE CARRIED OUT BY A LICENSED SURVEYOR.

BUILDER /CONTRACTOR SHALL CHECK & VERIFY ALL SET-BACKS & HEIGHTS PRIOR TO CONSTRUCTION. NO FOOTINGS, WALLS OR OTHER PHYSICAL ELEMENTS ARE TO ENCRoACH THE TITLE BOUNDARY.

BUILDER /CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.

BUILDER /CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY EXCAVATION WORKS. IF AN EXISTING PLUMBING SERVICE IS TO BE ABANDONED THE CONTRACTOR MUST CUT AND SEAL / DISCONNECT AND MAKE SAFE.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANTS DRAWINGS. ALL DRAWINGS TO BE CO-ORDINATED WITH CONSULTANTS DOCUMENTATION PRIOR TO COMMENCEMENT OF WORKS.

### LICENSED TRADESPERSONS:

ALL SERVICES TO BE INSTALLED BY LICENSED TRADESPERSONS IN ACCORDANCE WITH THE LOCAL AUTHORITY AND WITH CURRENT MANUFACTURERS SPECIFICATIONS.

### SERVICES:

ALL SERVICES SHALL BE CEMALIZED. WHERE SERVICES ARE EXPOSED THEY MUST BE CONFIRMED BY THE DESIGNER ON SITE PRIOR TO INSTALLATION UNLESS NOTED OTHERWISE.

### EROSION CONTROL:

ALL BUILDING WORKS TO COMPLY WITH LOCAL AUTHORITIES EROSION AND SEDIMENT CONTROL STANDARDS.

### SITE SURFACE:

ERODATE OVER THE SITE TO GIVE CORRECT LEVELS AND PROFILES AS THE BASIS FOR CONSTRUCTION, PAVING, FILLING, LANDSCAPING AND THE LIKE. MAKE ALLOWANCES FOR COMPACTION AND SETTLEMENT. EXTERNAL GROUND LEVELS ADJACENT TO BUILDINGS SHALL BE IN ACCORDANCE WITH BCA 3.3.2. GRADE SITE AWAY FROM BUILDING A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 100mm TO THE PERIPHERY so THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND ROADWAY, NOT ONTO NEIGHBOURING PROPERTIES. BANKS TO BE BATTERED IN ACCORDANCE WITH BCA 3.1.1

### TERMITE PROTECTION:

ALL BUILDING WORK IS TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660. DURABILITY NOTICES TO BE PLACED IN WETTER/SLAB INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS AND MAINTENANCE.

### MATERIALS:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

MATERIALS RELATING TO CONSTRUCTION IN CLOSE PROXIMITY OF COASTAL & INDUSTRIAL ENVIRONMENTS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

### STRUCTURAL STEEL:

ALL STEEL TO STRUCTURAL ENGINEERS DESIGN. UNLESS NOTED OTHERWISE, ALL EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED. A COLOURED PAINTED FINISH SHALL BE APPLIED TO ANY FUEL WELDING BE IT EXISTING OR NEW STEELWORK. ALL STEELWORK CAST IN CONCRETE FOOTINGS OR SLABS SHALL HAVE A BITUMEN FINISH APPLIED TO FULL EXTENT OF CAST IN CONCRETE STEEL. CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY STEELWORK.

### SLABS & FOOTINGS:

ALL SLABS & FOOTINGS TO STRUCTURAL ENGINEERS DETAILS. MINIMUM 200mm POLYETHYLENE UNDERLAY ON COMPLETELY SAND BED. LAP AND TAPE ALL JOINTS AND PENETRATIONS.

### RETAINING WALLS:

ALL RETAINING WALLS TO STRUCTURAL ENGINEERS DETAILS. PROVIDE RUBBLE BACKFILL AND ASS GRADE TO ALL RETAINING WALLS. BUILDER TO PROVIDE TANKING WHERE REQUIRED. RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM 21.

### BRICKWORK:

BRICK VENEER WALLS SHALL BE CONSTRUCTED WITH LIGHT DUTY WALL TIES. WCA AT 60mm CENTRES HORIZONTALLY AND 150mm CENTRES VERTICALLY. WLA AT 60mm CENTRES HORIZONTALLY AND 25mm CENTRES VERTICALLY. PROVIDE ARTICULATION JOINTS TO COMPLY WITH CEMENT AND CONCRETE ASSOCIATION CONSTRUCTION.

### WALL FRAMING

GROUND FLOOR	EXTERNAL AND LOAD BEARING	INTERNAL
BOTTOM PLATES:- TOP PLATES	90 X 35 MPF 12 90 X 70 MPF 12 OR 21/90 X 35 MPF 12	70 X 35 MPF 10 70 X 35 MPF 10
STOUPS	90 X 35 MPF 12 AT 450 C/C 90 X 35 MPF 12 AT 450 C/C	70 X 35 MPF 10 AT 450 C/C

FOR ROOF SPAN UP TO 5100mm

FIRST FLOOR	EXTERNAL AND LOAD BEARING	INTERNAL
BOTTOM PLATE TOP PLATE STOUPS	90 X 35 MPF 12 90 X 70 MPF 12 OR 21/90 X 35 MPF 12 90 X 35 MPF 12 AT 450 C/C	70 X 35 MPF 10 70 X 35 MPF 10 70 X 35 MPF 10 AT 450 C/C

FOR ROOF SPAN UP TO 5100mm

NOSSINGS AT 130mm C/C MINIMUM. NOSSINGS IN WET AREAS ARE TO LINE UP HORIZONTALLY THROUGHOUT FOR CAVITY SLIDING DOORS PROVIDE 100mm STUD WALL FRAMES.

UNTEL SIZES TO STRUCTURAL ENGINEERS DETAILS.

### ROOF FRAMING:

ROOF PITCH AS INDICATED ON PLANS. ROOF TRUSSES TO BE "SPANNAH" TYPE. TRUSSES SUPPLIED AND FIRED TO ENGINEERS DETAILS AT 600mm C/C UNLESS NOTED OTHERWISE. CEILING BENDERS TO BE EVENLY SPACED THROUGHOUT THE CEILING SPACE. ROOF BATTENS TO BE TO MANUFACTURERS SPECIFICATIONS FOR CLADDING TYPE.

### FLOOR FRAMING:

FLOOR FRAMING TO STRUCTURAL ENGINEERS DETAILS.

### WALL LININGS:

ALL SURFACE WALL LININGS AS INDICATED ON PLANS. INTERIOR WALL LININGS TO BE FLUSH PLASTERBOARD LINING UNLESS NOTED OTHERWISE. 6mm VILLABORD TO WET AREAS FIRED OFF IN ACCORDANCE WITH THE BCA AND MANUFACTURERS SPECIFICATIONS. FEATURE WALLS AS INDICATED ON PLANS.

### CEILING LININGS:

CEILING LINING TO BE FLUSH PLASTERBOARD FIRED TO MANUFACTURERS SPECIFICATIONS UNLES NOTED OTHERWISE.

### FLOOR LININGS:

FLOOR LININGS AS INDICATED ON PLANS. BUILDER/CONTRACTOR TO CONFIRM ALL REBATES IN TOP OF SLAB TO ENSURE TOP OF FLOOR FINISHES ARE FLUSH UNLESS NOTED OTHERWISE. EXPOSED TIMBER FLOORS TO HAVE VAPOUR PERMEABLE TIE UP UNDERDOOR.

### BRACING & TIE-DOWN:

BRACING & TIE-DOWN TO STRUCTURAL ENGINEERS DETAILS.

### ROOF DRAINAGE:

DOWNPIPES TO BE LOCATED AS PER THE PLANS.  
ALLOW TO CONNECT TO IN-GROUND STORMWATER DRAINAGE WITH 60mm UPVC AT 1:100 MINIMUM GRADE.  
ALLOW FOR 0.5 AT EACH CHANGE IN DIRECTION AND 4000mm CENTRES

### WATERPROOFING:

WATERPROOFING IS TO BE CARRIED OUT BY A SUITABLY QUALIFIED PERSON. ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA 3.9 & AS 3740. BUILDER TO PROVIDE CERTIFICATE OF INSTALLATION AND COMPLIANCE.

### APPLIANCES & EQUIPMENT:

BUILDER TO CO-ORDINATE ALL APPLIANCE AND EQUIPMENT LOCATIONS ON SITE WITH JOINER. INSTALLATION AND CONNECTION BY CONTRACTOR.

### SANITARY COMPARTMENTS:

SANITARY COMPARTMENT DOORS TO COMPLY WITH BCA 3.6.2. DOORS TO SWING OUT FROM PLAN. DISTANCE FROM DOOR TO DOOR EDGE TO BE 1200mm OR LIFT OFF FINGES TO BE INSTALLED EXCURRING DOOR & READY REMOVABLE FROM OUTSIDE.

### FIRE SAFETY:

CONSTRUCTION WITHIN 900 OF A BOUNDARY (NO CLOSER) THAT 450 OF A BOUNDARY OR 900 OF ASSOCIATED ENCROACHMENTS OF ANOTHER BUILDING) TO BE OF NON-COMBUSTIBLE MATERIALS & WALLS WITHIN 900 OF A BOUNDARY TO HAVE A MINIMUM FIRE RESISTANCE LEVEL OF 60/90/90 IN ACCORDANCE WITH BCA 3.7.1.

### POOL FENCING:

POOL FENCING TO BE IN ACCORDANCE WITH AS 1926 AND LOCAL AUTHORITIES REQUIREMENTS.

### STAIRS & BALUSTRADES:

STAIRS & BALUSTRADES TO COMPLY WITH BCA 3.9.5. STEPS TO BE PROVIDED WHERE FALL FROM DWELLING EXCEEDS 100mm.

### SITE DISCHARGE:

STORMWATER AND SANITARY PLUMBING TO BE CONNECTED TO EXISTING COUNCIL SYSTEM IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS.

### DISTRIBUTION BOARD:

PROVIDE NEWM DISTRIBUTION BOARD AS REQUIRED. ALL ELECTRICAL OUTLETS SHALL BE PROTECTED BY OVER-CURRENT / EARTH LEAKAGE CIRCUIT BREAKERS IN ACCORDANCE WITH AUSTRALIAN STANDARDS.

### ELECTRICAL ACCESSORIES:

LIGHT SWITCHES TO BE LOCATED 1200mm ABOVE THE FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE.

### ANTENNA:

SUPPLY AND INSTALL A ROOF MOUNTED ANTENNA. COMBINED VHAHF. ANTENNA TO BE HIDDEN FROM VIEW TO THE WEATHER AND WATERPROOF. LOCATION TO BE CONFIRMED BY DESIGNER.

### LIGHT & VENTILATION:

PROVIDE A MINIMUM OF 10% NATURAL LIGHT AND 5% NATURAL VENTILATION TO HABITABLE ROOMS IN ACCORDANCE WITH BCA 3.6.3 AND 3.6.5 AND RELEVANT AUSTRALIAN STANDARDS.

### ARTIFICIAL LIGHT:

PROVIDE ARTIFICIAL LIGHTING IN ACCORDANCE WITH AS 1680 TO ALL ROOMS WITHOUT NATURAL LIGHTING.

### SOUND:

TO BE IN ACCORDANCE WITH BCA 3.8.

### SUB-FLOOR:

EXTERIOR WALL LININGS AS INDICATED ON PLANS. INTERIOR WALL LININGS TO BE FLUSH PLASTERBOARD LINING UNLESS NOTED OTHERWISE. 6mm VILLABORD TO WET AREAS FIRED OFF IN ACCORDANCE WITH THE BCA AND MANUFACTURERS SPECIFICATIONS. FEATURE WALLS AS INDICATED ON PLANS.

### ENERGY EFFICIENCY:

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BCA ENVIRONMENTAL GUIDELINES, APPROVED ENERGY EFFICIENCY REPORT AND ESD CONSULTANT CERTIFICATES.

### INSULATION:

INSULATION TO BE IN ACCORDANCE WITH ENERGY EFFICIENCY & ACOUSTIC SPECIFICATIONS. INSULATION REQUIREMENTS INDICATED IN REPORTS MUST BE MET AS A MINIMUM. ALL EXTERNAL WALLS & ROOF TO HAVE VAPOUR PERMEABLE SHROING.

### HYDRAULICS:

HYDRAULIC WORKS TO BE CARRIED OUT IN ACCORDANCE WITH:-  
- THE PLUMBING AND DRAINAGE ACT 2002  
- AS 3500  
- LOCAL AUTHORITY  
- ANY OTHER RELEVANT JURISDICTION

### SANITARY PLUMBING:

SANITARY PLUMBING SHALL BE UPVC CLASS HW WITH SOLVENT WELD JOINTS AND SHALL BE LAID AT A MINIMUM GRADE OF 1:40 UNLESS NOTED OTHERWISE. CONNECT SANITARY PLUMBING TO COUNCIL SEWER IN ACCORDANCE WITH AUTHORITY REQUIREMENTS. WHERE NO LOCAL AUTHORITY SEWER CONNECTION IS AVAILABLE ALL WASTE WATER TO BE CONNECTED TO AN ON SITE TREATMENT PLANT IN ACCORDANCE WITH ENGINEERS DETAILS.

### FIRE PROOF PENETRATIONS:

PENETRATIONS MADE THROUGH FIRE RELATED ELEMENTS SHALL BE MADE USING FIRE STOP COLLARS TO MAINTAIN THE INTEGRITY OF THE ELEMENT BEING PENETRATED.

### ENCASING UNDERGROUND SERVICES:

UNDERGROUND WATER & FIRE SERVICES TO BE ENCASED IN 100mm OF SAND.

### WEATHERSTRIPS:

EXTERNAL DOORS TO CONTAIN WEATHER STRIPS (TYPE TO BE CONFIRMED BY DESIGNER PRIOR TO MANUFACTURE).

### WINDOWS AND DOORS:

WINDOW & DOOR DIMENSIONS TO BE CONFIRMED ON SITE. DIMENSIONS ARE TO OUTSIDE OF FRAMES UNLESS SHOWN OTHERWISE. WINDOW SUPPLIER TO ADJUST DIMENSIONS TO SUIT STANDARD FRAME SIZES WITH THE DESIGNERS APPROVAL. WINDOW & DOOR JOINER TO CONFIRM FRAME SIZES TO SUIT AS-BUILT WALL DEPTHS ON SITE.

MAKE ALLOWANCES FOR DOOR AND SCREEN TRACKS TO BE RECESSED INTO FLOOR FINISH / SLAB. DEPTH OF RECESS / DEBATE TO BE CONFIRMED BY BUILDER / CONTRACTOR.

BUILDER / CONTRACTOR TO INSTALL NECESSARY FLASHINGS TO ALL WINDOWS, DOORS & OPENINGS.

BUILDER / CONTRACTOR TO CONFIRM ALL STRUCTURAL OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.

INSTALL DOOR BOTTOM AND FRAME SEALS ON AND AROUND ALL EXTERNAL OPENINGS TO PREVENT HEAT LOSS.

## LEGEND

AW	ANCHOR ROD	MWS	MICROWAVE OVEN
AP	ACCESS PANEL	OG	OBSCURE GLASS
B	BATH	OP	OVERHEAD CUPBOARD
BE	BEAM TO ENG. DETAIL	P	PANTRY
CH	CEILING HEIGHT	R	ROBE
CH	CLOTHES DRYER	RA	RANGE HOOD
CVS	CENTRAL VACUUM SYSTEM	RWS	PLATE WARMER
CUL	COLUMN TO ENG. DETAIL	S	SINK
CUP	CUPBOARD	SCS	SLIDING CLOSET / STEP DOWN
CS	CUPBOARD OVER	SD	SLIDING DOOR / STEP DOWN
CB	CANCELLED BEAM	SO	STEAM OVEN
CM	COFFEE MACHINE	SZ	SHOWER
DN	DISH WASHER	SH	SHOWER
DP	DOWNPipe	SFA	SPA BATH
DS	FINISHED STEP DOWN	SP	SPEAKER
ENS	ENsuite BATHROOM	T	LAUNDRY TUB
FR	REFRIGERATOR	UBO	UNDER BENCH OVEN
FI	FIRE FIRED	UNIT	UNIT
FW	FLOOR WASTE	VP	VACUUM POINT FOR CO2
GC	GARBAGE DISPOSAL UNIT	WC	WATER CLOSET / TOILET
HP	HOT PLATE / HOT PLATE	WM	WASHING MACHINE
HS	HOT WATER SYSTEM	WO	WALL OVEN
L	LINEN	WR	WALK-IN ROBE

TABLE C1  
WATERPROOFING AND WATER RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS

Vessels or areas where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall/floor junctions	Penetrations
Shower area (enclosed and unenclosed)					
With hob		(a) Waterproof all walls in shower area to a height the greater of—  (i) not less than 150 mm above floor substrate; or  (ii) not less than 25 mm above maximum retained water level; and  (b) Water resistant walls in shower area to not less than 1800 mm above finished floor level of the shower	Waterproof wall junctions within shower area	Waterproof wall/floor junctions within shower area	Waterproof penetrations in shower area
With step-down	Waterproof floor in shower area (including any hob or step-down)				
Without hob or step-down	N/A				
With preformed shower base	N/A	Water-resistant walls in shower area to not less than 1800 mm above finished floor level of the shower	Waterproof wall junctions within shower area	Waterproof wall/floor junctions within shower area	Waterproof penetrations in shower area
Area outside-shower area					
For concrete and compressed fibre-cement sheet flooring	Water-resistant floor of the room				
For timber floors, including particleboard, ply-wood and other timber-based flooring materials	Waterproof floor of the room	N/A	N/A	Waterproof wall/floor junctions	N/A
Area adjacent to baths and spas (see Note 1)					
For concrete and compressed fibre-cement sheet flooring	Water-resistant floor of the room	(a) Water-resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall	Water-resistant junctions within 150 mm above a vessel for the extent of the vessel	Water-resistant wall/floor junctions for the extent of the vessel	Waterproof tap and spout penetrations where they occur in horizontal surfaces
For timber floors, including particleboard, ply-wood and other timber-based flooring materials	Waterproof floor of the room	(b) Water-resistant all exposed surfaces below vessel lip			
Inserted baths and spas	(a) Waterproof shelf area, incorporating waterstop under the bath lip  (b) No requirement under bath	(a) Waterproof to not less than 150 mm above lip of bath or spa  and  (b) No requirement under bath	(a) Waterproof junctions within 150 mm above bath or spa  and  (b) No requirement under bath	N/A	Waterproof tap and spout penetrations where they occur in horizontal surfaces
Walls adjoining other vessel (e.g. sink, basin or laundry tub)	N/A	Water-resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall	Waterproof wall junctions where a vessel is fixed to a wall	N/A	Waterproof tap and spout penetrations where they occur in surfaces required to be waterproof
Laundries and WCs	Water-resistant floor of the room	N/A	N/A	Waterproof wall/floor junctions	Waterproof penetrations where they occur in surfaces required to be waterproof

• THE DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS.

• DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

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• ALL WORKS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, CLADDING, FITTINGS AND FIXTURES.

PROJECT ADDRESS  
**LOT 64 CRAWFORD/DAYAL STREET EAST TAMMORTH, NSW, 3240**  
**DP205692**

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**PROPOSED TAMMORTH GROUP HOME WITH 8 DWELLINGS & COMMUNITY FACILITY**

**GENERAL NOTES**

## CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 12.5 (BAL - 12.5)

### SECTION 5 CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 12.5 (BAL - 12.5)

### 5.1 GENERAL

A BUILDING ASSESSED IN SECTION 7 AS BEING BAL-12.5 SHALL COMPLY WITH SECTION 3 AND CLAUSES 5.2 TO 5.8.  
ANY ELEMENT OF THE CONSTRUCTION OR SYSTEM THAT SATISFIES THE TEST CRITERIA OF AS 1539.8.1 MAY BE USED IN LIEU OF THE APPLICABLE REQUIREMENTS CONTAINED IN CLAUSES 5.2 TO 5.8 (SEE CLAUSE 3.8).

NOTE: BAL- 12.5 IS PRIMARILY CONCERNED WITH PROTECTION FROM EMBER ATTACK AND RADIANT HEAT UP TO AND INCLUDING 12.5 MW M2 WHERE THE SITE IS LESS THAN 100 M FROM THE SOURCE OF BUSHFIRE ATTACK.

### 5.2 FLOORS

5.2.1 CONCRETE SLABS ON GROUND  
THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR CONCRETE SLABS ON THE GROUND.

### 5.2.2 ELATED FLOORS

THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR ELATED FLOORS, INCLUDING BEARERS, JOISTS AND FLOORING.

### 5.4 EXTERNAL WALLS

### 5.4.1 WALLS

THE EXPOSED COMPONENTS OF AN EXTERNAL WALL THAT ARE LESS THAN 400 MM FROM THE GROUND OR LESS THAN 400 MM ABOVE DECKS, CARPORT ROOFS, ANNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 10 DEGREES TO THE HORIZONTAL AND EXTENDING MORE THAN 110 MM IN WIDTH FROM THE WALL (SEE FIGURE D3, APPENDIX D), SHALL BE:

- (A) NON-COMBUSTIBLE MATERIAL;
- (B) PRECAST OR IN SITU WALLS OF CONCRETE OR RADIANT CONCRETE; OR
- (C) CLADDING THAT IS FIRED EXTERNALLY TO A TIMBER-FRAMED OR A STEEL-FRAMED WALL AND IS:
  - (I) NON-COMBUSTIBLE MATERIAL; OR
  - (II) NON-FRAME A MINIMUM OF 4 MM IN THICKNESS; OR
  - (D) A COMBINATION OF ANY OF ITEMS (A), (B) OR (C) ABOVE.

THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR THE EXPOSED COMPONENTS OF AN EXTERNAL WALL THAT ARE 400 MM OR MORE FROM THE GROUND OR 400 MM OR MORE ABOVE DECKS, CARPORT ROOFS, ANNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 10 DEGREES TO THE HORIZONTAL AND EXTENDING MORE THAN 110 MM IN WIDTH FROM THE WALL (SEE FIGURE D3, APPENDIX D).

### 5.4.2 JOINTS

ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BAKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3 MM.

5.4.2 VENTS AND WEEPHOLES  
VENTS AND WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2 MM, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM, EXCEPT WHERE THE VENTS AND WEEPHOLES HAVE AN APERTURE LESS THAN 3 MM (SEE CLAUSE 3.4), OR ARE LOCATED IN AN EXTERNAL WALL OF A SUBFLOOR SPACE.

### 5.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLES AND EXTERNAL DOORS

WHERE FIRED



Scale 1:1000  
Contours at 1m Intervals

Scale 1:500  
Contours at 0.20m Intervals

IMPORTANT NOTES & CAUTIONS:-

1. These plans have been prepared at a reduction ratio of A3 as shown. The accuracy of any enlargement or other reproduction may be less than that of the original.
2. All levels shown on this plan are reduced to the level based on NG 73151 with an RL 395.293
3. Survey orientation is to Grid North and based on GDA 2020 co-ordinate system
4. The cadastre shown on this plan has been located to a standard of accuracy in accordance with Regulation 10 of the Surveying & Spatial Information Regulation 2017. The boundaries have not been marked by this survey. It is our recommendation that marks to define the boundaries should be placed if any construction work is to be undertaken within the boundaries
5. Title search obtained from NSW Land Registry Services on 19.09.2022 for Folio Identifier 64/205692 indicates that the subject land is burdened by easements as indicated in the easement schedule
6. All utility services shown on this drawing are approximate only and have been located from a survey data provided for investigation. It is the responsibility of the contractor to confirm services prior to any and all work on site - phone dial before you dig. Before commencing any excavation or construction on the site, you should contact the relevant authorities for verification of the location & depth of their services
7. This site survey was carried out using Differential Global Navigational Satellite System technology (DGSS) on 05.10.2022
8. Tree canopies shown are approximate only
9. This plan is copyright and is not to be copied or reproduced in whole or in part without the prior written approval of Bath Stewart Associates Pty Ltd. Upon payment of all fees incurred to complete this survey, the client, shall have a licence to use this drawing, (for which it was originally prepared), without the requirement to obtain the client's consent.
10. These notes are an integral part of this plan

### SURVEY LEGEND

K.L.P.	Kerb Inlet Fit
— / — / —	Fence
<u>50.29m</u>	Boundary & Dimension
----- 381.9 -----	Contour & Height (0.2m Interval)
<i>47.55</i>	Spot Level
— T —	Underground Telstra Cables
— W100 —	Watermains & Size
— WS —	Waterservices
— E —	Underground Electrical Cables
— S —	Sewer Pipes and Manholes
— SW —	Stormwater Pipe & Size
— G —	Gasmain

## SCHEDULE OF EASEMENTS

- (X) Easement for Drainage 4.57 Wide .... DP 1205692

[illegible][illegible]



LOT 64 / DP205692  
7 CRAWFORD STREET, TAMWORTH  
REGIONAL COUNCIL  
SITE AREA - 4330.m<sup>2</sup>  
SITE COVERAGE - 18.97%

- PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.
- ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/ NZS. 3500.

- ENCLOSE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SLOPED SPLIT LIPS AT REQUIRED.
- EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.
- SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PLOT.
- THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORGS) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm below THE LOWEST SANITARY FIXTURE.
- CONNECT DOWNPIPES TO LEGAL POINT DISCHARGE WATER via 100mm diameter UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
- DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.
- PROVIDE ABEFLUX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERACE/PORCH SLAB.
- FILL BATTER GRADIENT @ 1:2 WHERE ACHIEVABLE MAX @ 1:1.5; CUT BATTER GRADIENT @ 1:1.5
- SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

- ▶ SPARK RESISTANT WITH HIGH TENSILE ATTACK LEVEL: 125 TO 625KJCM<sup>2</sup> 2009
- ▶ SPARK RESISTANT IGS MESH TO BLOWDOWN WEEDS/WHEELS & WATER RUN OFFS/SPLASHES IF ABOVE GRADE WILL BE MET
- ▶ NON-CORROSIVE METAL FINISHES TO THE OPENING SECTION OF ALL WINDINGS, SLIDING GORDERS & HINGED EXTERNAL DOORS
- ▶ PROVIDE TOUGHENED GLASS TO THE LOWMOUNT ONLY OF ALL 7100GZD 40 HIGH WINDINGS TO COMPLY WITH CALIF. 125
- ▶ HINGED ENTRY DOOR FRAME (EXAMINED WITH BUILDERS' SLOTTED TO COMPLY WITH CALIF. 125)
- ▶ WEATHER SEAL AROUND GRADE PAVEMENT OR ROLLER DOOR, 3MM GPM
- ▶ VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS
- ▶ ROADS SHALL BE FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5, SARKING SHALL COVER THE ENTIRE ENTRY
- ▶ INCLUDING THE ROOF & EXTEND INTO THE BUTTERS & VALLES
- ▶ GARLES SHALL BE SARKED HAVE FIRE CEMENT EXTERNAL CLADDING WITH A 6MM MIN. THICKNESS
- ▶ ROOF & EAVE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE STEEL MESH (NON-COMBUSTIBLE) IGS FOR EAVE SHEETS WITH 3MM, 2MM APERTURE
- ▶ RAINWALL MOUNTED GUS UNIT SHALL HAVE A RECESS METAL BOO ASSEMBLY
- ▶ ANTI-MATERIALISED TO STOP LEAVES COLLECTING IN THE ROOF OUTLET OF VENTILATION SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS 1530.2



<b>BASIX commitments:</b>	
Shower head rating	3 star
Toilet rating	4 star
Kitchen taps	4 star
Bathroom taps	4 star
Washing machine	3.5 star
Alternate water	3,000L rainwater tank (min.) per dwelling & core building (min. 100m <sup>2</sup> roof connected)
Alternate water connections	WCS, washing machine, 1 external tap
HWS	Electric storage
Cooling – living	AC (EER>3.0) & ceiling fans
Heating – living	AC (EER>3.0)
Zoning	N/A
Fluoro LED light globes	throughout (dedicated)
Bath fan	ducted, manual on/off
Kitchen range hood	ducted, manual on/off
Laundry fan	ducted, manual on/off
Hot plates / oven	electric / electric
Solar PV	>4kW (min.) combined
Outdoor clothesline	yes

Thermal Efficiency summary:	
Roof	Medium (SA >0.475<0.70) & reflective sarking
Ceiling insulation	R5.0
External wall insulation	R2.5 and vapour permeable sarking
Internal wall insulation	R2.5 (internal walls shared with adjoining units and bathrooms)
Floor insulation	225mm waffle pad slab
Infiltration	Draught stoppers & foam seals on all external doors.
Downlights	Draught stoppers on all exhaust fans
Window / glass door type	Downlights to be IC-F rated to permit coverage with insulation. Double glazed low-E aluminium frame U=2.90 & SHGC=0.51 (+or- 5%)



DATE	AMENDMENT	ISSUE	BY	PLANNING
23/06/2023	DA-REV B	DA-B	CC	
23/06/2023	UPDATES NEW SIGN SYSTEM IN WASTE AREA	DA-C	CC	
16/07/2023	SITE NOTIFICATION UPDATE FOR NEW COUNCIL REQUEST	DA-D	CC	
23/07/2023	COLORS, HEIGHT, SHADES, MATERIAL, CHANGES (DRAWING) AMENDMENTS	DA-E	CC	

DA SET

001

DA-REV E

28/07/2023

CC/CC

SCALE

1:200

DATE

28/07/2023

@

4 of 13

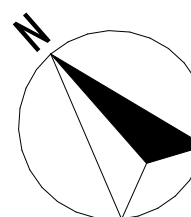


0008416780 25 Jun 2023  
Accreditation No. 20094  
Address  
Lot 64 Crawford St. East  
Tamworth, NSW, 2340  
hst.com.au



**PROPERTY DESCRIPTION**  
LOT 64 / DP205692  
7 CRAWFORD STREET, TAMMORTH  
REGIONAL COUNCIL  
SITE AREA - 4330 m<sup>2</sup>  
SITE COVERAGE - 18.97%

**BAL 12.5 NOTE**  
TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5 TO AS1959-2009  
- SPARK ARRESTERS (S/MESH) TO BRICKWORK KNEEHOLES  
- WATER &/OR GAS SUPPLY PIPES IF ABOVE GROUND SHALL BE METAL  
- NON-CORROSIVE METAL FLYSCREENS TO THE OPENING SECTION OF ALL WINDOWS, SLIDING DOORS & HINGED EXTERNAL DOORS  
- PROVIDE TOUGHENED GLASS TO THE LOW/LITE ONLY OF ALL 2100/2400 HIGH WINDOWS TO COMPLY WITH BAL 12.5  
- HINGED ENTRY DOOR FRAME STAINED WITH BUILDERS SLOEIGHT TO COMPLY WITH BAL 12.5  
- WEATHER SEAL AROUND GARAGE PANEL/LIFT OR ROLLER DOOR, MAX. 3MM GAP  
- VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS  
- ROOFS SHALL BE FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5. SARKING SHALL COVER THE ENTIRE ROOF, INCLUDING THE RIDGE & EXTEND INTO THE GUTTERS & VALLEYS  
- GABLES SHALL BE SARKED, HAVE FIBRE CEMENT EXTERNAL CLADDING WITH A 6MM MIN. THICKNESS  
- ROOF & GABLE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE STEEL MESH (NON-COMBUSTIBLE) (S/S FOR EAVE SHEETS) WITH MAX. 2MM APERTURE  
- RAINWATER MOUNTED GAS UNIT SHALL HAVE A RECESS METAL BOX ASSEMBLY  
- ANY MATERIALS USED TO STOP LEAVES COLLECTING IN THE ROOF GUTTER OR VALLEY SYSTEM SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS 1530.2



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**PROJECT ADDRESS**  
LOT 64 CRAWFORD/DAYAL STREET EAST TAMMORTH,  
NSW, 2340  
DP205692

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ANGUS DONNELLY  
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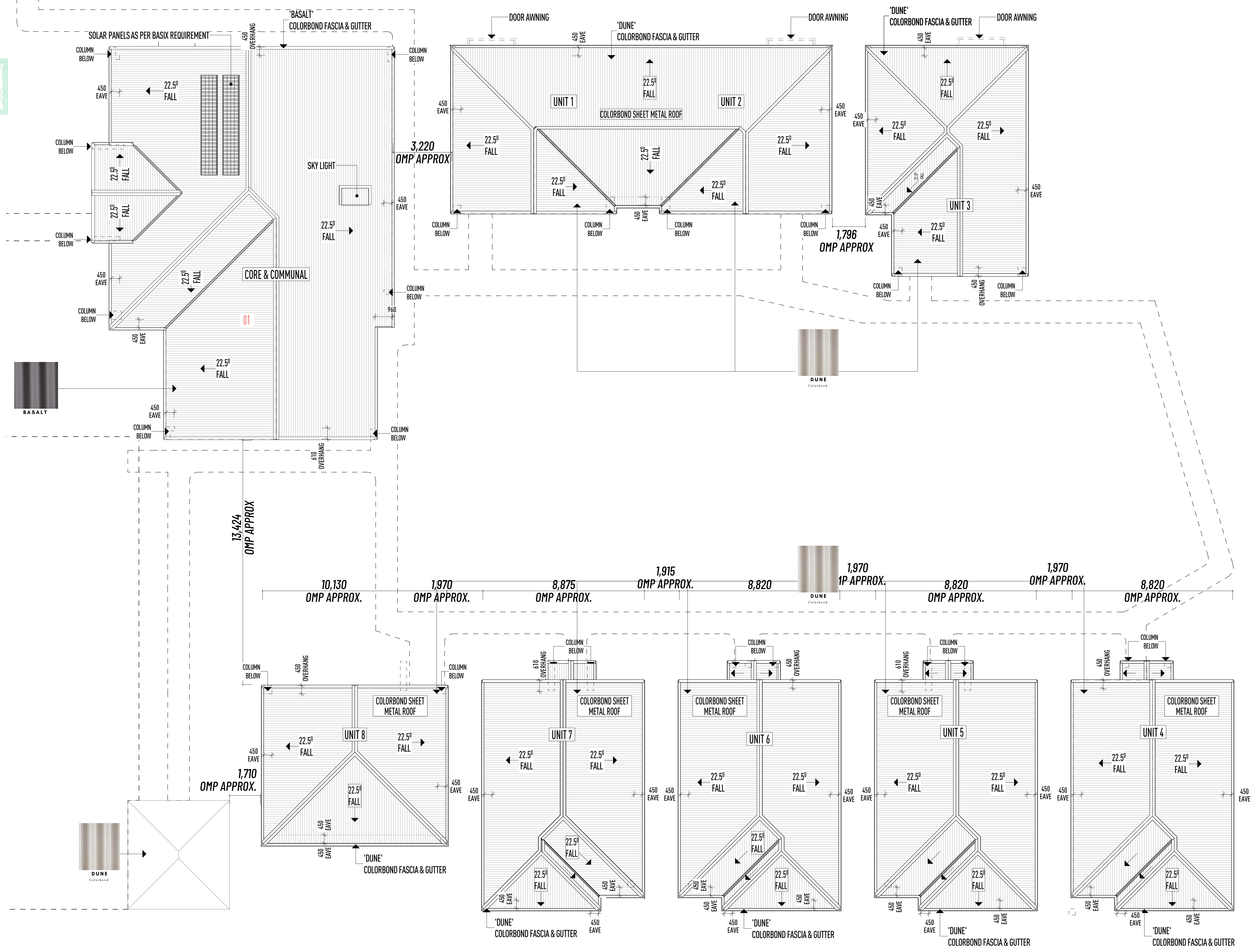
**PROPOSED TAMMORTH GROUP HOME  
WITH 8 DWELLINGS & COMMUNITY FACILITY**

**PROPOSED FLOOR PLAN**

**DRAWING TITLE**

DATE	AMENDMENT	ISSUE	BY	FOR DATE	DA SET
20/07/2023	01	001	DA	28/07/2023	1:100
20/07/2023	02	002	DA	28/07/2023	1:100
20/07/2023	03	003	DA	28/07/2023	1:100
20/07/2023	04	004	DA	28/07/2023	1:100
20/07/2023	05	005	DA	28/07/2023	1:100
20/07/2023	06	006	DA	28/07/2023	1:100
20/07/2023	07	007	DA	28/07/2023	1:100
20/07/2023	08	008	DA	28/07/2023	1:100
20/07/2023	09	009	DA	28/07/2023	1:100
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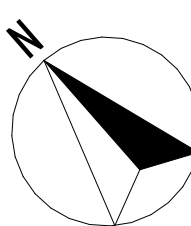




**PROPERTY DESCRIPTION**  
LOT 64 / DP205692  
7 CRAWFORD STREET, TAMMORTH  
REGIONAL COUNCIL  
SITE AREA - 4330m<sup>2</sup>  
SITE COVERAGE - 18.97%

**NOTE**  
- GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.  
- ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR ENGINEER'S WIND RATING CONDITIONS  
- STEEL ROOFING TO COMPLY WITH AS1562.1  
- PROVIDE ALCOA BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED

**BAL 12.5 NOTE**  
TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5 TO AS3958-2009  
- SPARK ARRESTERS (SIS MESH) TO BRICKWORK WEEPHOLES  
- WATER &/OR GAS SUPPLY PIPES IF ABOVE GROUND SHALL BE METAL  
- NON-CORROSIVE METAL FLYSCREENS TO THE OPENING SECTION OF ALL WINDOWS, SLIDING DOORS & HINGED EXTERNAL DOORS  
- PROVIDE TOUGHENED GLASS TO THE LOWLITE ONLY OF ALL 2100/2400 HIGH WINDOWS TO COMPLY WITH BAL 12.5  
- HINGED ENTRY DOOR FRAME STAINED WITH BUILDERS SUELIGHT TO COMPLY WITH BAL 12.5  
- WEATHER SEAL AROUND GARAGE PANELT OR ROLLER DOOR. MAX. 3MM GAP  
- VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS  
- ROOFS SHALL BE FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5. SARKING SHALL COVER THE ENTIRE ROOF, INCLUDING THE RIDGE & EXTEND INTO THE GUTTERS & VALLEYS  
- GABLES SHALL BE SARKED. HAVE FIBRE CEMENT EXTERNAL CLADDING WITH A 6MM MIN. THICKNESS  
- ROOF & EAVE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE STEEL MESH (NON-COMBUSTIBLE) (SIS FOR EAVE SHEETS WITH MAX. 20MM APERTURE.  
- RAINWATER MOUNTED GAS UNIT SHALL HAVE A RECESS METAL BOX ASSEMBLY  
- ANY MATERIALS USED TO STOP LEAVES COLLECTING IN THE ROOF GUTTER OR VALLEY SYSTEM SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS 1530.2



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ALL DIMENSIONS SHOWN SPECIFYING TWO PRECEDENCE OVER PLAN DETAILS, COLORS, FITTINGS AND FINISHES.

**PROJECT ADDRESS**  
LOT 64 CRAWFORD/DAYAL STREET EAST TAMMORTH,  
NSW, 2340  
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**PROJECT**  
PROPOSED TAMMORTH GROUP HOME  
WITH 8 DWELLINGS & COMMUNITY FACILITY

**DRAWING TITLE**  
PROPOSED ROOF PLAN

DATE	AMENDMENT	ISSUE	BY	DATE	BY
15/04/2023	1.0	DA SET	DA	15/04/2023	DA
16/07/2023	UPDATE NEW RAIN SYSTEM IN WASTE AREA	DA	CC	16/07/2023	CC
16/07/2023	SITE NOTATION UPDATE AS PER COUNCIL REQUEST	DA	CC	16/07/2023	CC
22/07/2023	COLORBOND SHEETS ADOPTED FROM MATERIAL CHANGES CONSULTING AGREEMENTS	DA	CC	22/07/2023	CC
DRAWN: C/C/CH		CHECKED: C/C/CH		DATE: 28/10/2023	
				DRAWING No: 6 of 13	

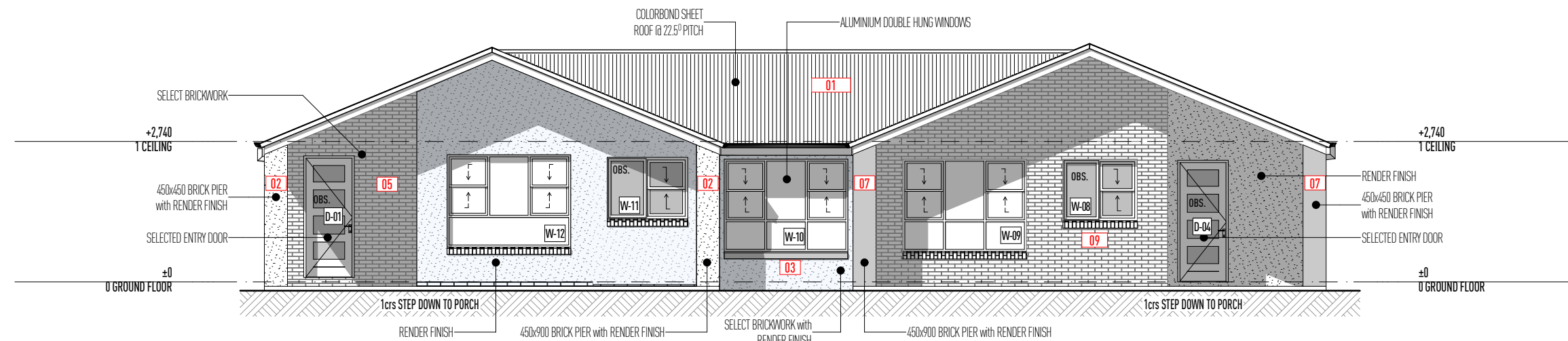








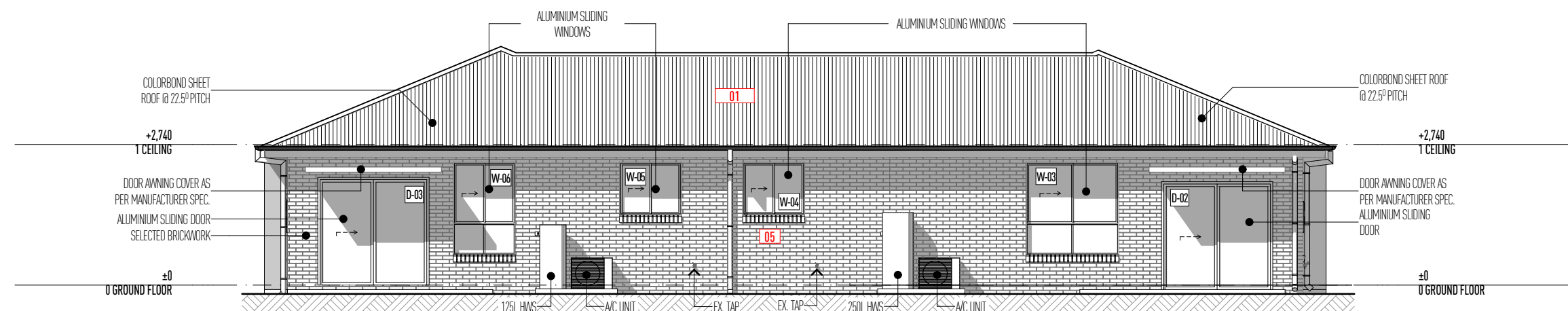
## UNIT 1 & 2 GROUND FLOOR PLAN



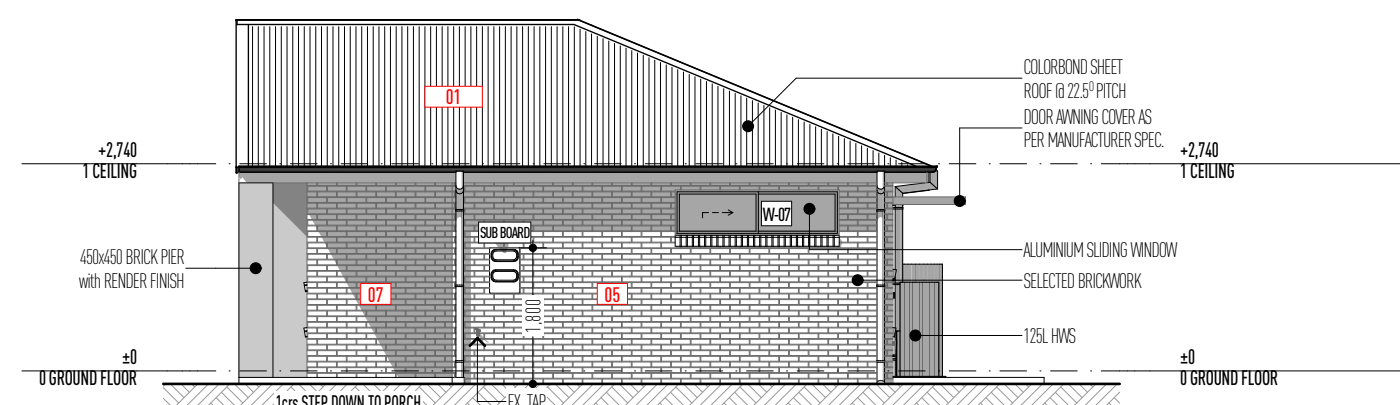
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Scale 1:100



E-02 NORTH WEST ELEVATION  
Scale 1:100



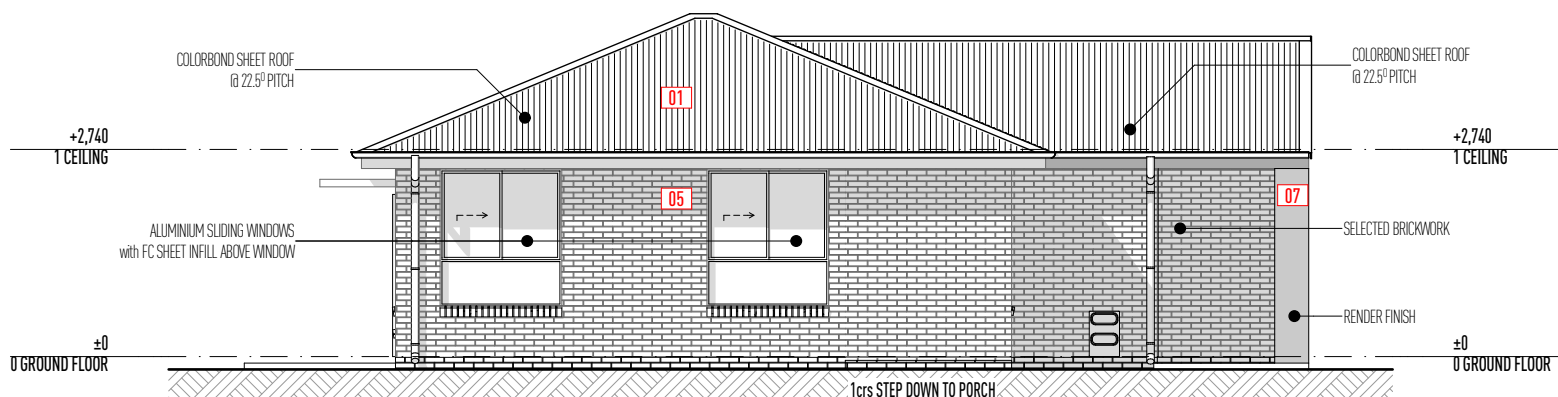
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Scale 1:100



E-04 SOUTH EAST ELEVATION  
Scale 1:100



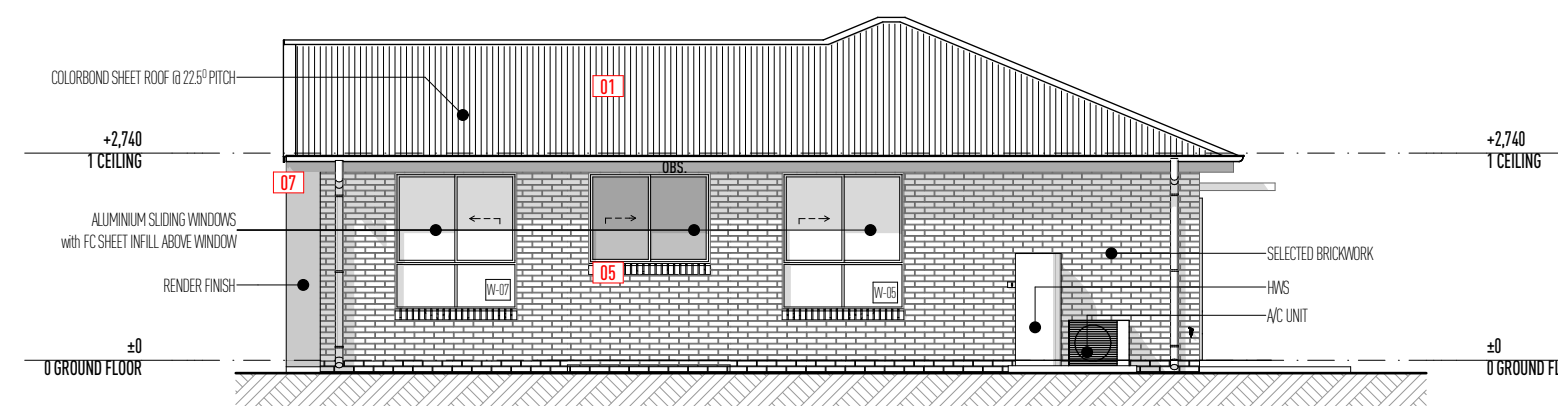
### UNIT 3 GROUND FLOOR PLAN



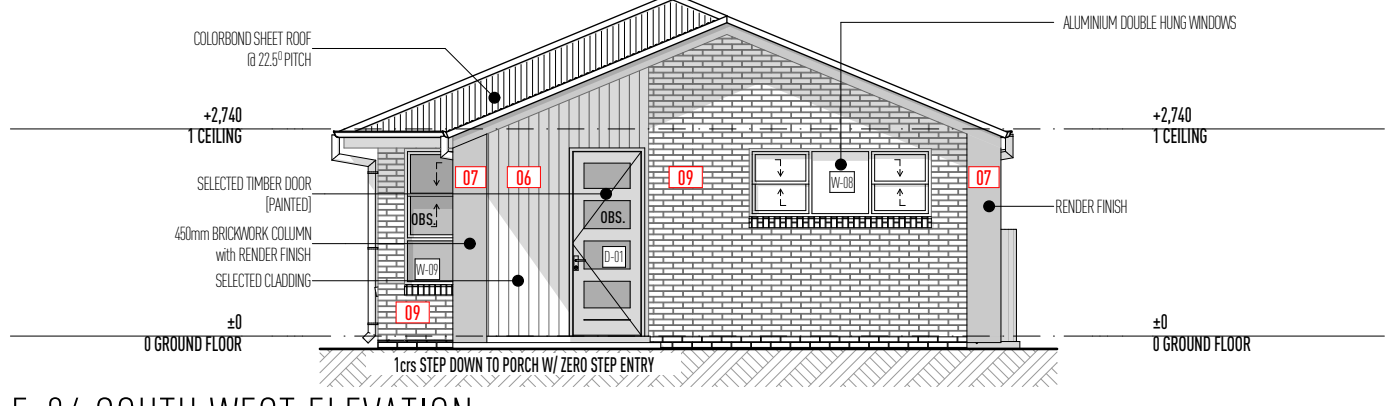
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Scale 1:100



E-02 NORTH EAST ELEVATION  
Scale 1:100



E-03 SOUTH EAST ELEVATION  
Scale 1:100



E-04 SOUTH WEST ELEVATION  
Scale 1:100

**2740mm CEILING HEIGHT**  
UNLESS OTHERWISE NOTED

**SECURITY SCREENS TO ENTRY DOOR**

**NOTE**

- TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010
- ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD
- TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 REVISED 2014
- W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC F3.8.3.3
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC F3.8.1.2
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC F3.7.2
- ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 40/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC 3.7
- REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS
- RECESS ALL EXTERIOR DOOR TRACKS/SILLS
- FINISHED R/L'S TO BE CONFIRMED ONSITE
- TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE
- THRESHOLD DETAIL TO BE CO-ORDINATED WITH WINDOW & DOOR MANUFACTURERS DETAILS TO MAINTAIN WARRANTY
- STRUCTURAL R/L'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE
- ALL STEP-DOWNS & REBATES TO BE CONFIRMED ONSITE
- FLOOR FINISHES TO BE AS/ISO9293
- WALL AND CEILING FINISHES MUST MEET AT2150-4-2014
- PROPOSED DUCTED AIR CONDITIONING SYSTEM TO MEET AS2564

## BAL 12.5 NOTE

TO COMPLY WITH BUSHIRE ATTACK LEVEL 12.5 TO AS3959-2008

- SPARK ARRESTERS (SAS) MESH TO BROOMWORK MECHOLUS
- WATER AND GAS SUPPLY PIPES IF ABOVE GROUND SHALL BE METAL
- NON-CORROSIVE METAL FLYSCREENS TO THE OPENING SECTION OF ALL WINDOWS, SLIDING DOORS & HINGED EXTERNAL DOORS
- PROVIDE TOUGHENED GLASS TO THE LOWEST ONLY OF ALL 2100X2400 HIGH WINDOWS TO COMPLY WITH BAL 12.5
- HINGED ENTRY DOOR FRAME STAINED WITH BUSHIRE SLEIGHT TO COMPLY WITH BAL 12.5
- MEETAL SASH AROUND GLASS PANELCUT OR ROLLER DOOR MAX 30MM GAP
- VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS
- ROOF SHALL BE FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5. SARKING SHALL COVER THE ENTIRE ROOF
- INCLUDING THE ROOF & EXTEND INTO THE GUTTERS & VALLEYS
- GABLES SHALL BE SARKED, HAVE FIRE CEMENT EXTERN CLADDING WITH A 6MM MIN. THICKNESS
- ROOF & EAVE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE MESH, MINIMUM COMBUSTIBLE (S) FOR EAVE SHEETS WITH MAX 2MM APERTURE
- RAINNA VALLEY MOUNTED GAS UNIT SHALL HAVE A RECESS METAL BOX ASSEMBLY
- ANY MATERIALS USED TO STOP LEAVES COLLECTING IN THE ROOF GUTTER OR VALLEY SYSTEM SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS1530.2

## CLUSTER EXTERNAL FINISHES SCHEDULE

01 **DUNE**  
Colorbond

02 **CB DUNE**  
Dulux (Paint)

03 **CB BLUEGUM**  
Dulux (Paint)

04 **BLACK**  
(Windows)

05

06

07

08 **TERRAZZO  
STONE & EARTH**  
Paint

09

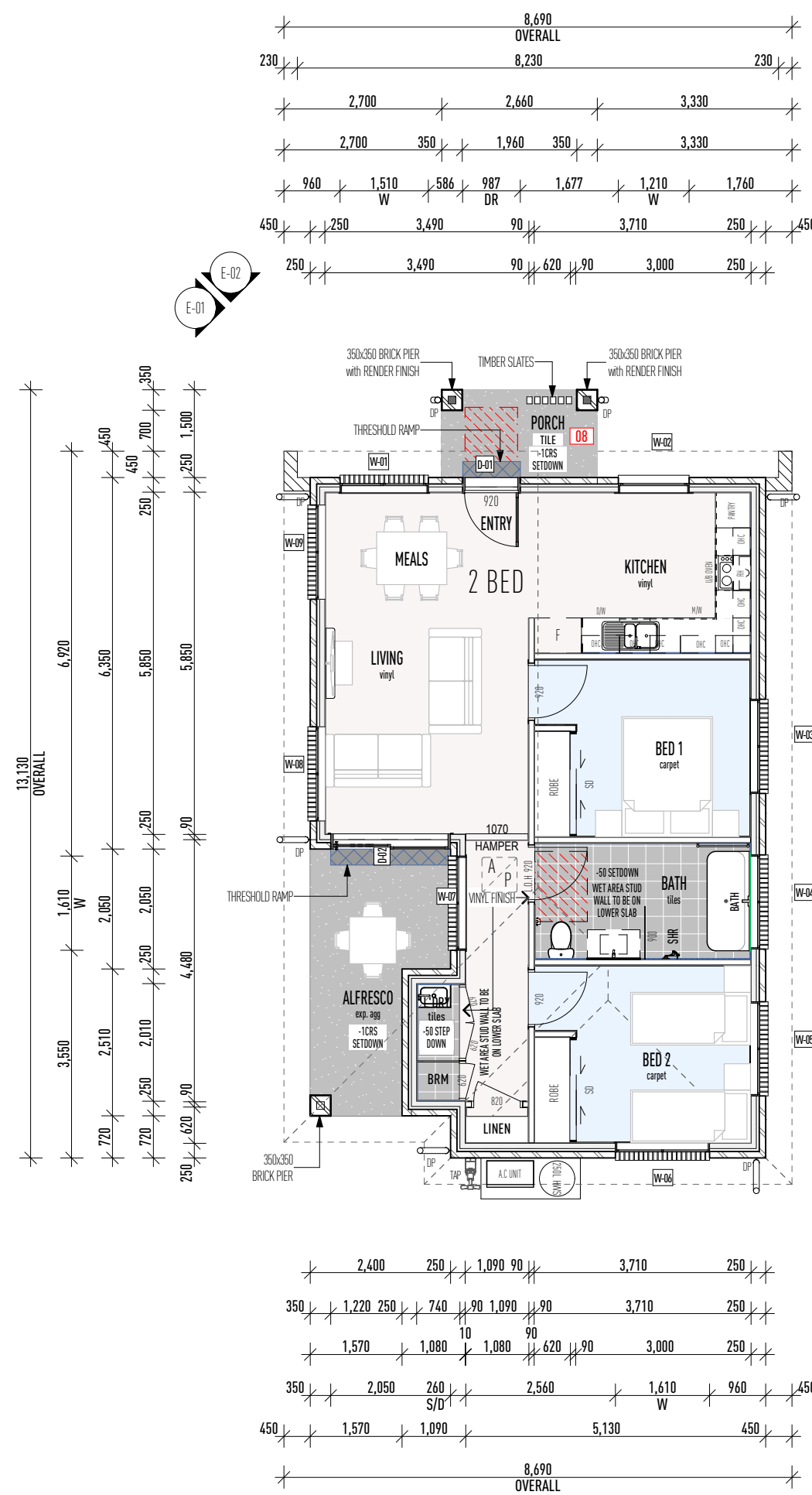
TAMWORTH - CLUSTER

EXTERNAL FINISHES

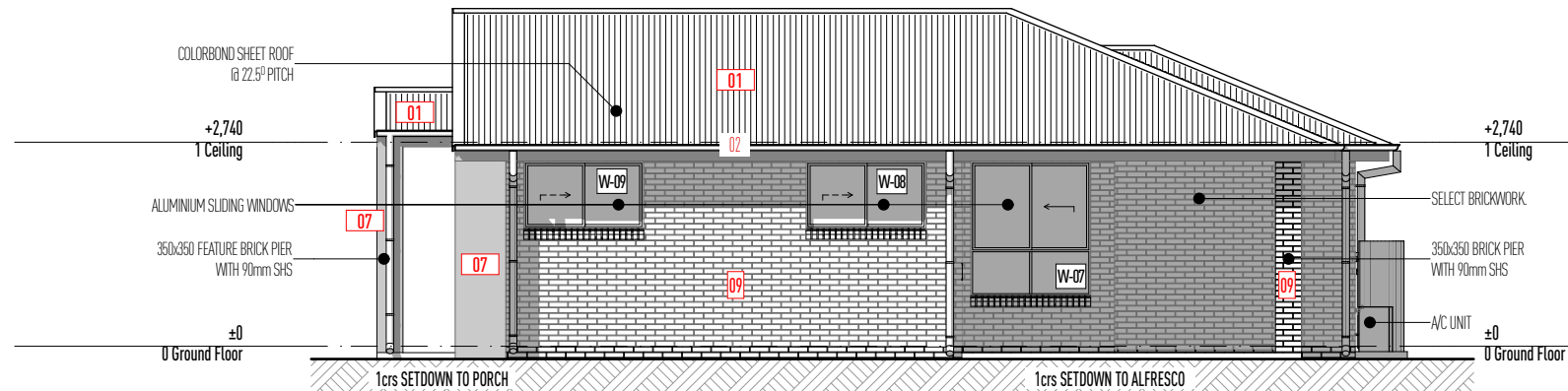
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22/08/2023	0.0 REV E	0.0 E	CE		001	1:100	DA SET DA-REV E
29/09/2023	UPGRADE NEW BUN DESIGN IN WASTE AREA	DA E	CEH				
27/10/2023	SPEL NOTIFICATION AND SPEL SOURCE REQUEST	DA E	CEH				
27/10/2023	VALUING SETTING OUTS AND PROPOSED MATERIAL FINISHES, CURBS AND PERIMETER FENCES	DA E	CEH				
					DO/CEH	DATE	28/10/2023

8 of 13

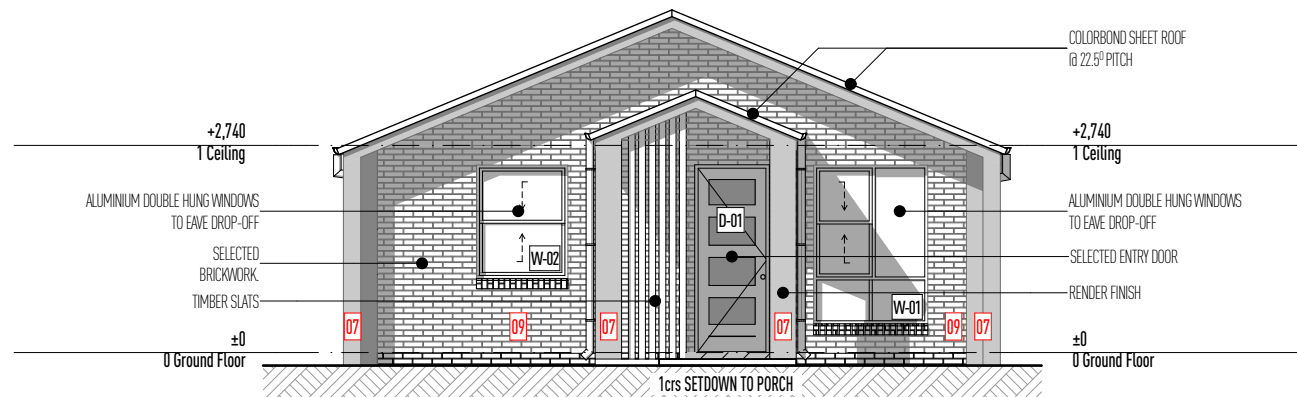




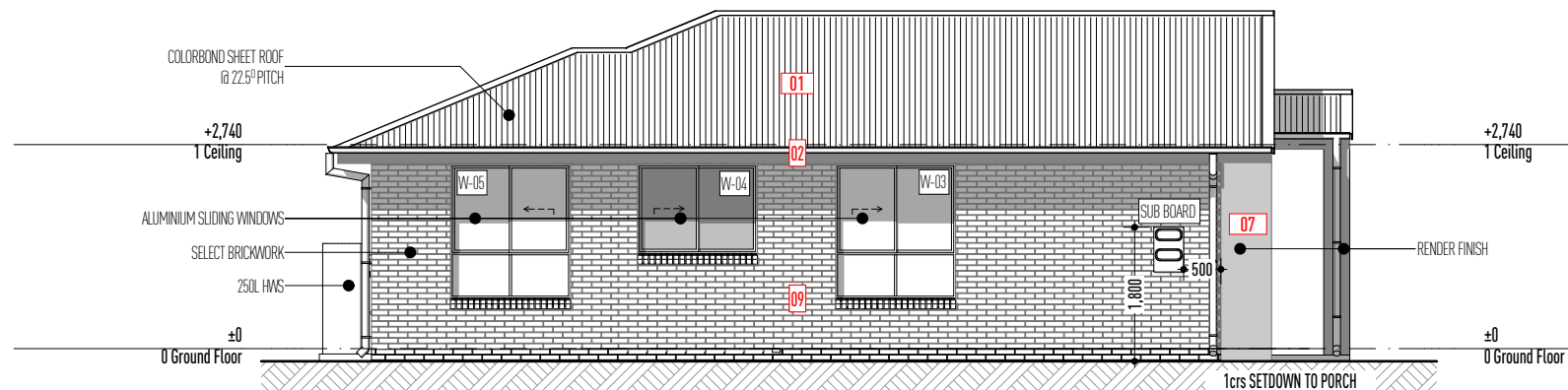
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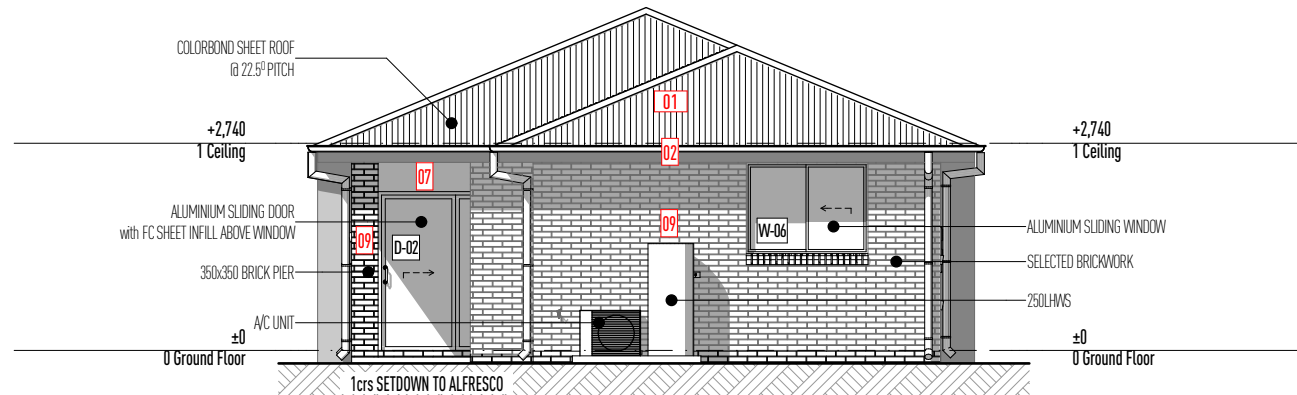
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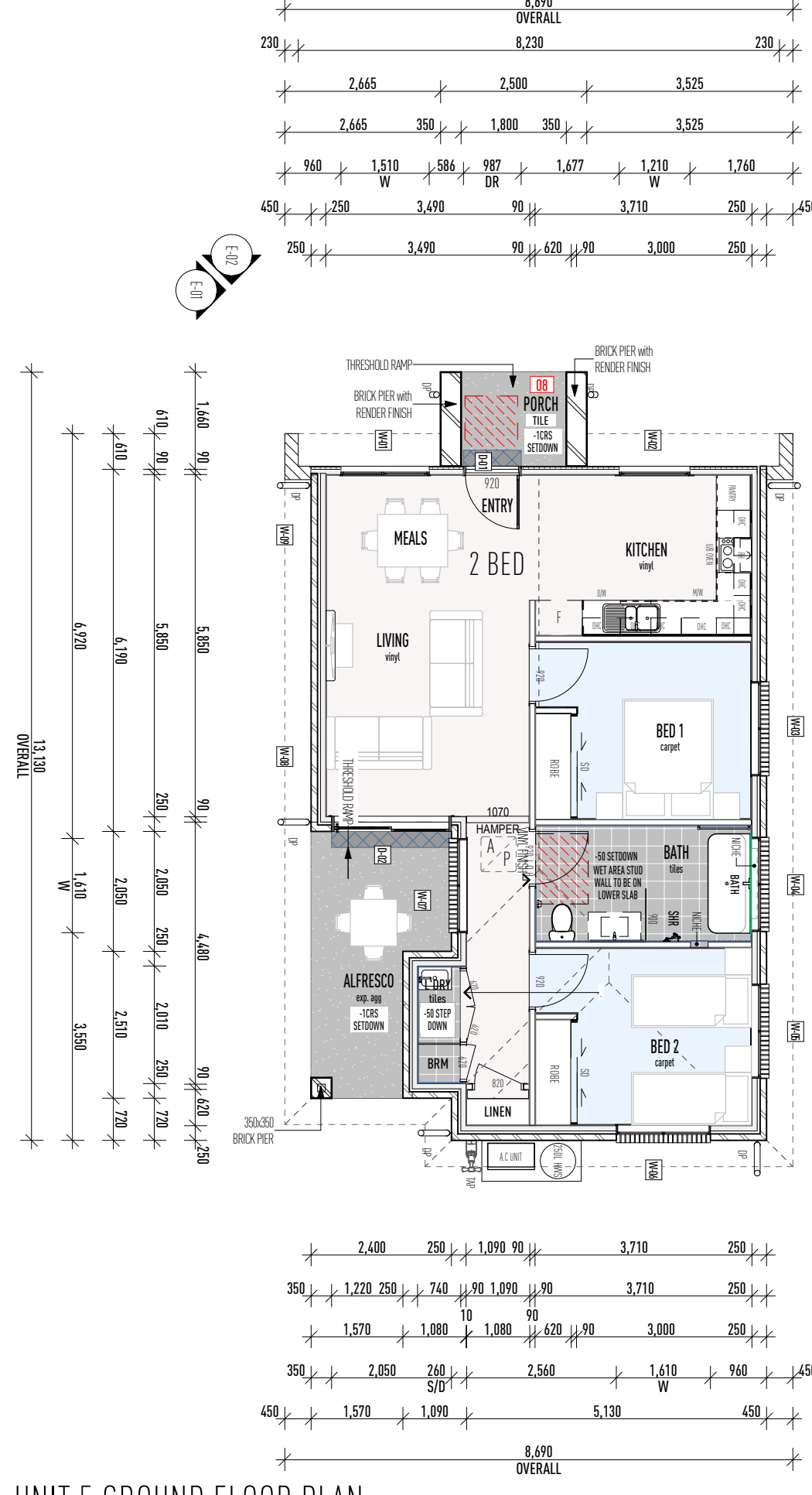
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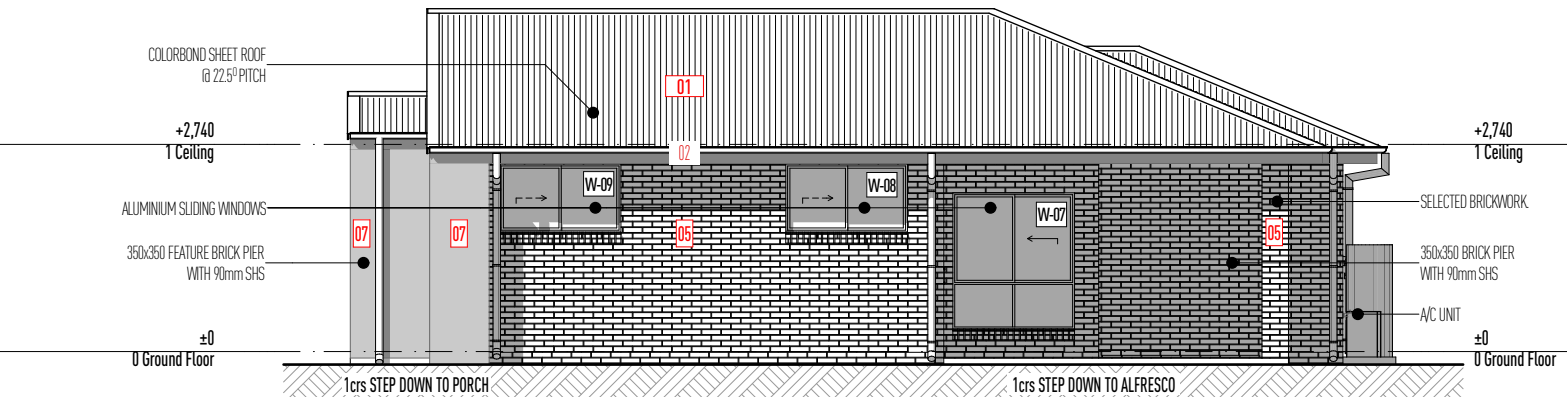
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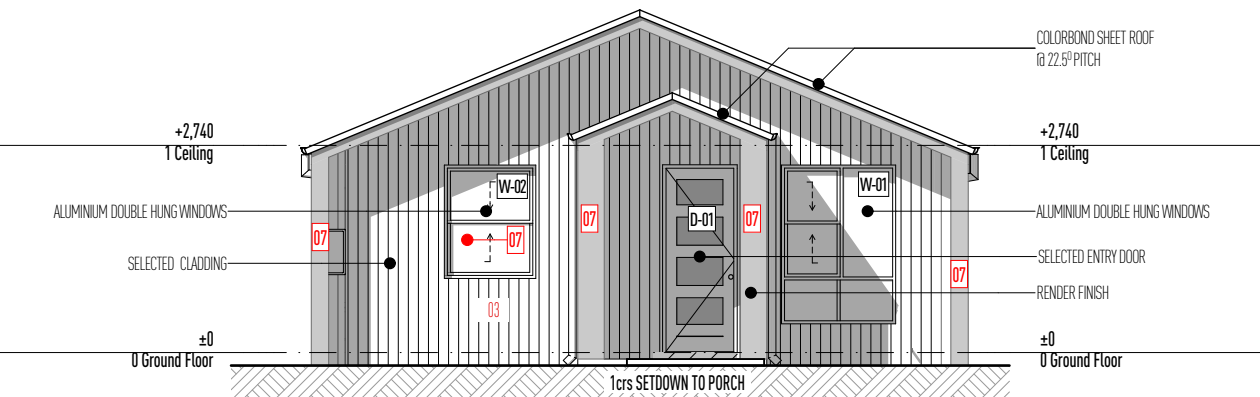
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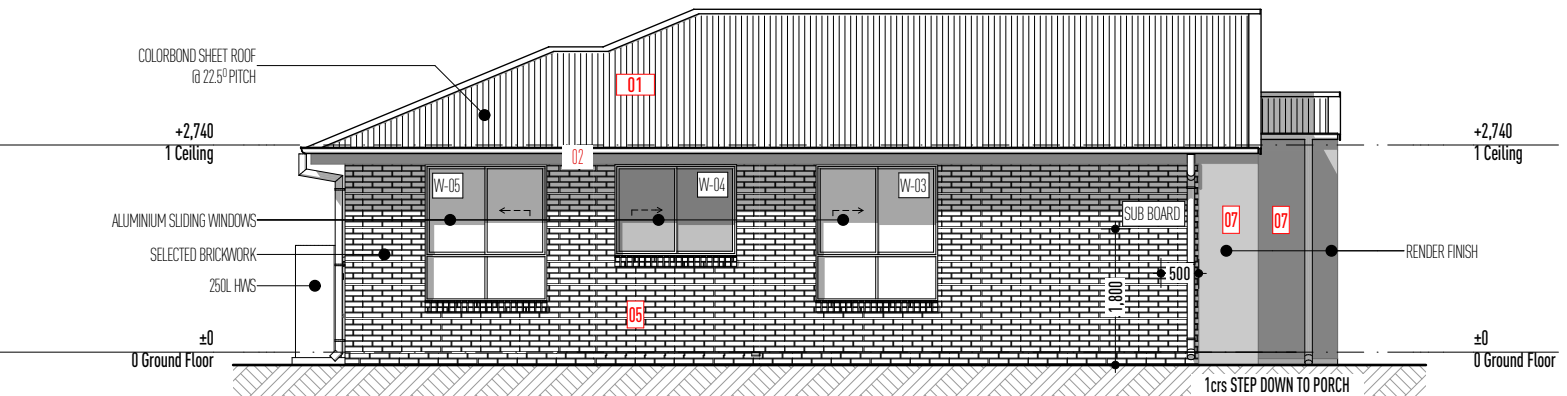
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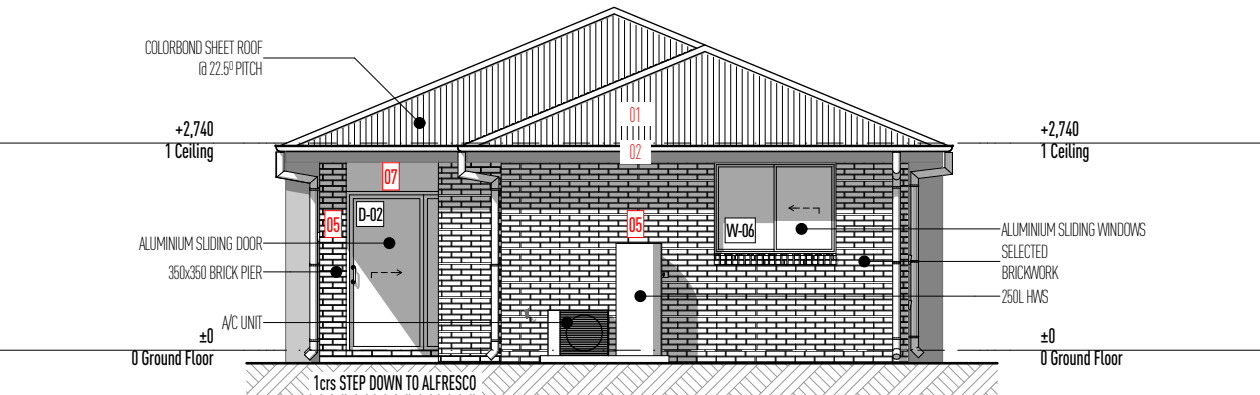
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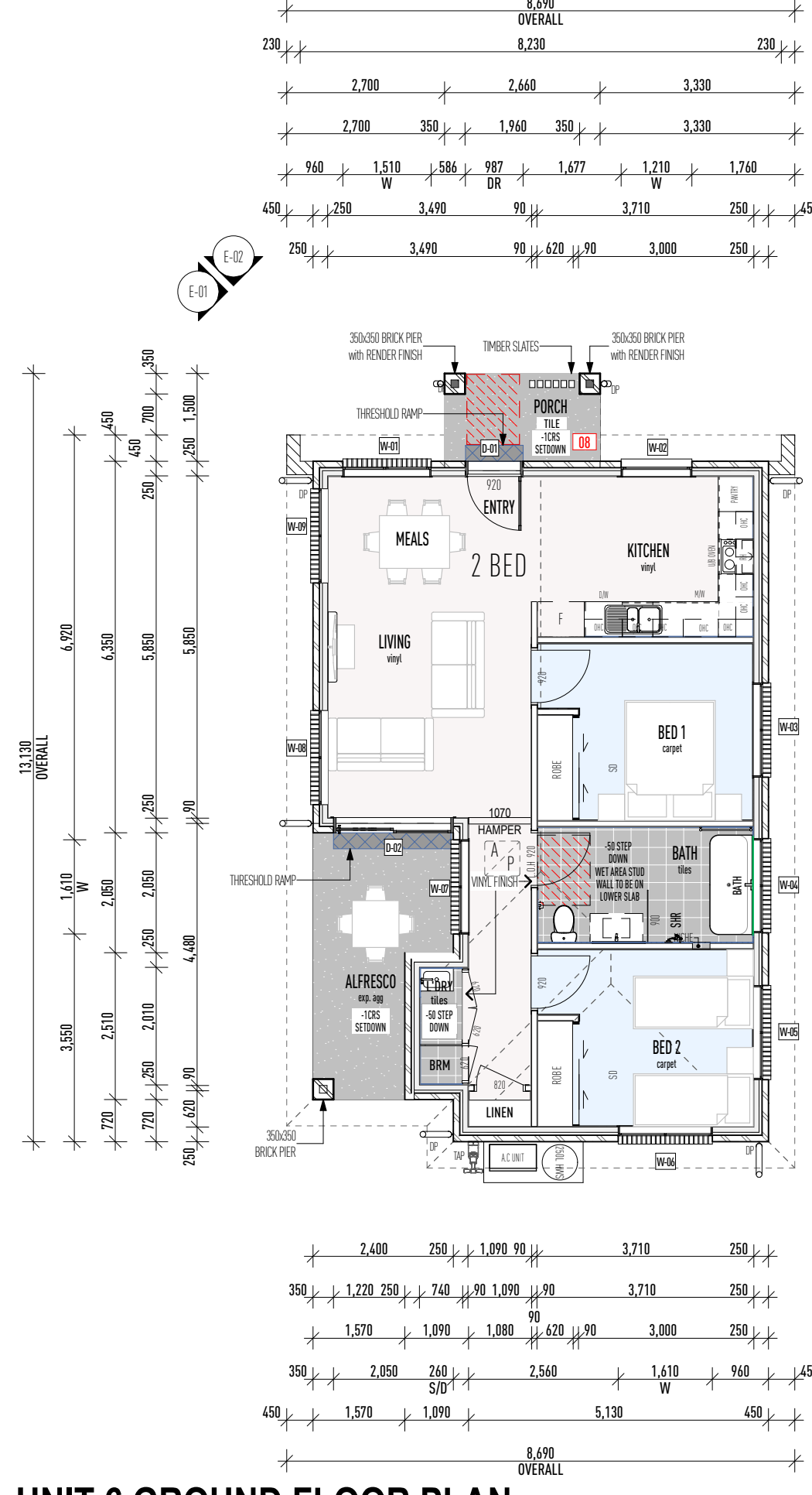
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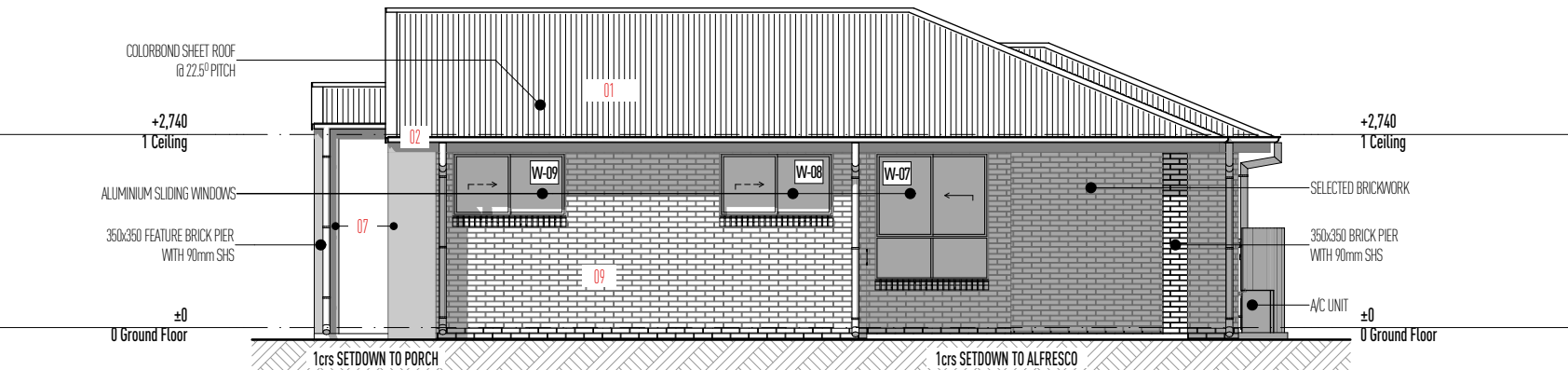
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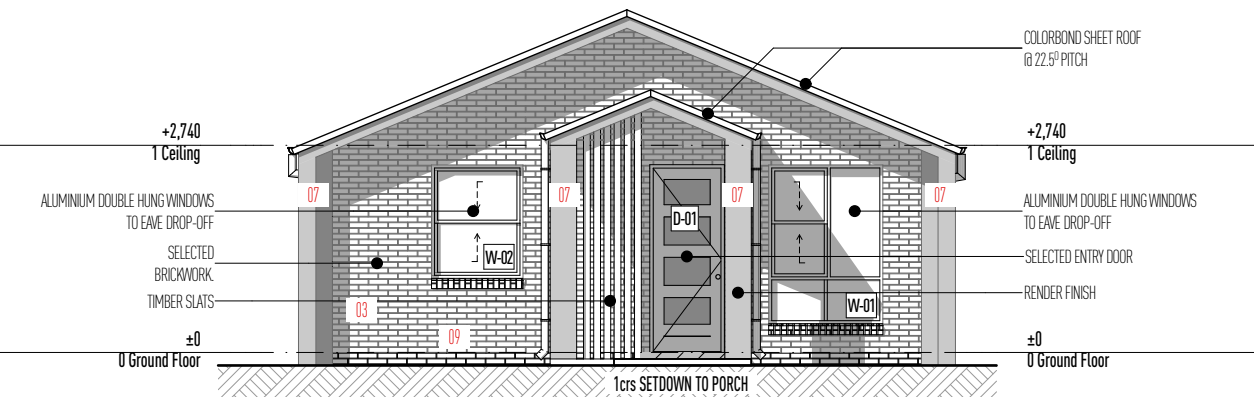
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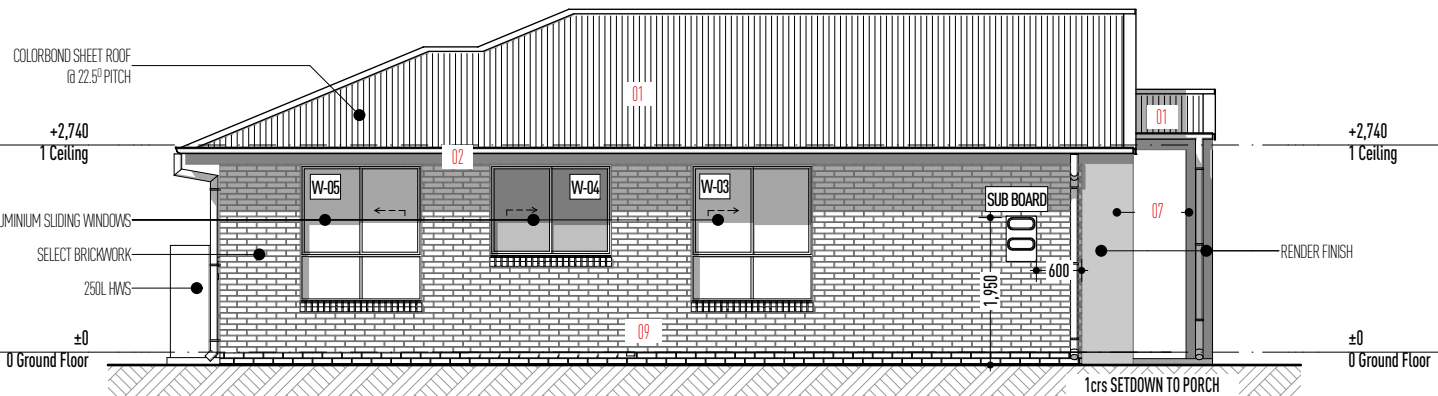
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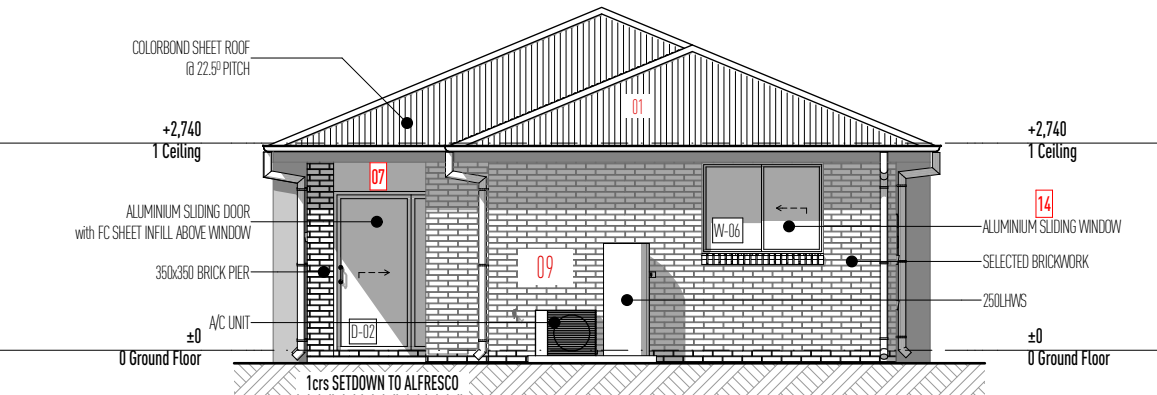
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E-02 NORTH EAST ELEVATION  
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E-03 SOUTH EAST ELEVATION  
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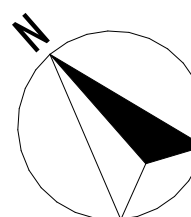


E-04 SOUTH WEST ELEVATION  
Scale 1:100

- 2740mm CEILING HEIGHT**  
UNLESS OTHERWISE NOTED
- SECURITY SCREENS TO ENTRY DOOR**
- NOTE**
- TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010
  - ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD
  - TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 REVISED 2014
  - W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC F3.8.3.3
  - WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC F3.8.1.2
  - SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC F 3.7.2
  - ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC 3.7
  - REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS
  - RECESS ALL EXTERIOR DOOR TRACKS/SILLS
  - FINISHED R/L'S TO BE CONFIRMED ON SITE
  - TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE
  - THRESHOLD DETAIL TO BE CO-ORDINATED WITH WINDOW & DOOR MANUFACTURERS DETAILS TO MAINTAIN WARRANTY
  - STRUCTURAL R/L'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE
  - ALL STEP-DOWNS & REBATES TO BE CONFIRMED ON SITE
  - FLOOR FINISHES MUST BE AS/AS02939
  - WALL AND CEILING FINISHES MUST MEET A21530.4-2014
  - PROPOSED DUCTED AIR CONDITIONING SYSTEM TO MEET AS1554

- BAL 12.5 NOTE**
- TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5 TO AS1959-2009
- SPARKARRESTERS (SS MESH) TO BRICKWORK WEATHERS
  - WATER & GAS SUPPLY PIPES IF ABOVE GROUND SHALL BE METAL
  - NON-CORROSIVE METAL FLYSCREENS TO THE OPENING SECTION OF ALL WINDOWS, SLIDING DOORS & HINGED EXTERNAL DOORS
  - PROVIDE TOUGHENED GLASS TO THE LOWLINE ONLY OF ALL 2100/2400 HIGH WINDOWS TO COMPLY WITH BAL 12.5
  - HINGED ENTRY DOOR FRAME STAINED WITH BUILDERS SLOUGHT TO COMPLY WITH BAL 12.5
  - WEATHER SEAL AROUND GARAGE PANELIFT OR ROLLER DOOR, MAX. 3MM GAP
  - VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS
  - ROOFS SHALL BE FULLY SHROUD WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5. SHAWNS SHALL COVER THE ENTIRE ROOF, INCLUDING THE RIDGE & EXTEND INTO THE GUTTERS & VALLEYS
  - GABLES SHALL BE SARKED, HAVE FIBRE CEMENT EXTERNAL CLADDING WITH A 6MM MIN. THICKNESS
  - ROOF & EAVE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE STEEL MESH (NON-COMBUSTIBLE) (S FOR EAVE SHEETS WITH MAX. 2MM APERTURE
  - RAINWALL MOUNTED GAS UNIT SHALL HAVE A RECESS METAL BOX ASSEMBLY
  - ANY MATERIALS USED TO STOP LEAVES COLLECTING IN THE ROOF GUTTER OR VALLEY SYSTEM SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS1502

CLUSTER EXTERNAL FINISHES SCHEDULE



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ABN: 63 147 459 441

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**PROJECT ADDRESS**  
**LOT 64 CRAWFORD/DAYAL STREET EAST TAMMORTH,**  
**NSW, 2340**  
**DP205692**

**CONSULTANT ARCHITECT**  
**IAN BASSETT**  
**WORKING PARTNER**  
**PROJECT MANAGER**  
**ANGUS DONNELLY**  
**PH: 0404 547 143**  
**STRUCTURAL ENGINEER**  
**TRICEND ENGINEERING**  
**PH: 13 227 476**

**PROVIDENCE**  
**TRICEND ENGINEERING**  
**PH: 13 227 476**  
**MECHANICAL CONSULTANT**  
**MICHAEL KIRO**  
**PH: 0404 485 415**  
**LANDSCAPE CONSULTANT**  
**DA LANDSCAPES**  
**PH: 0404 485 415**

**PROJECT**  
**PROPOSED TAMMORTH GROUP HOME**  
**WITH 8 DWELLINGS & COMMUNITY FACILITY**

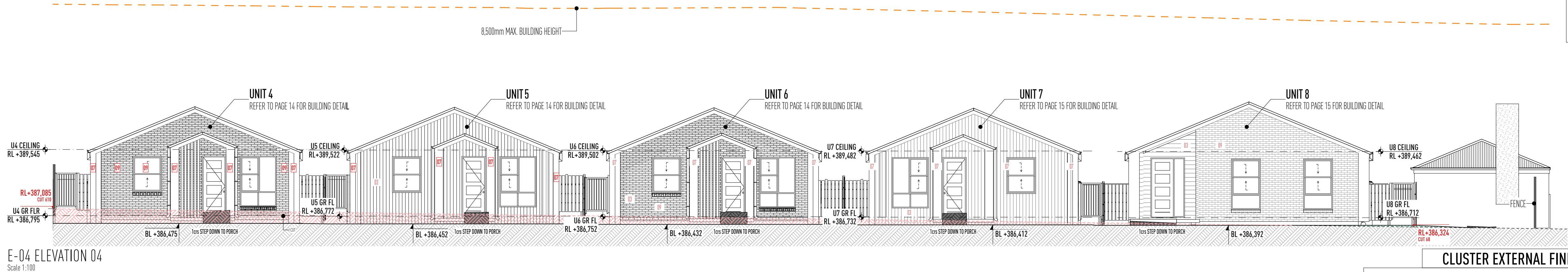
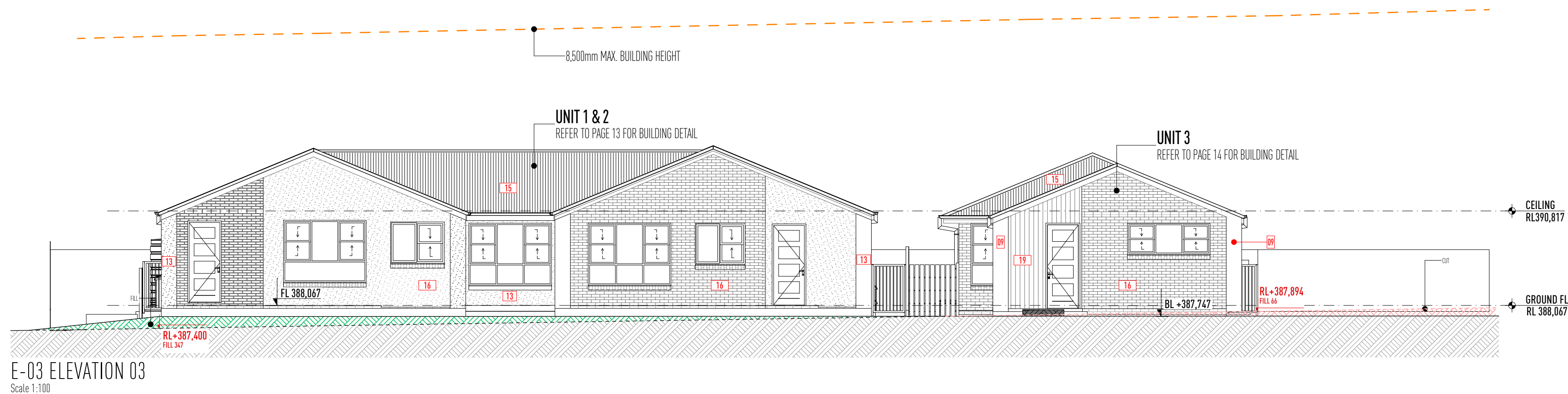
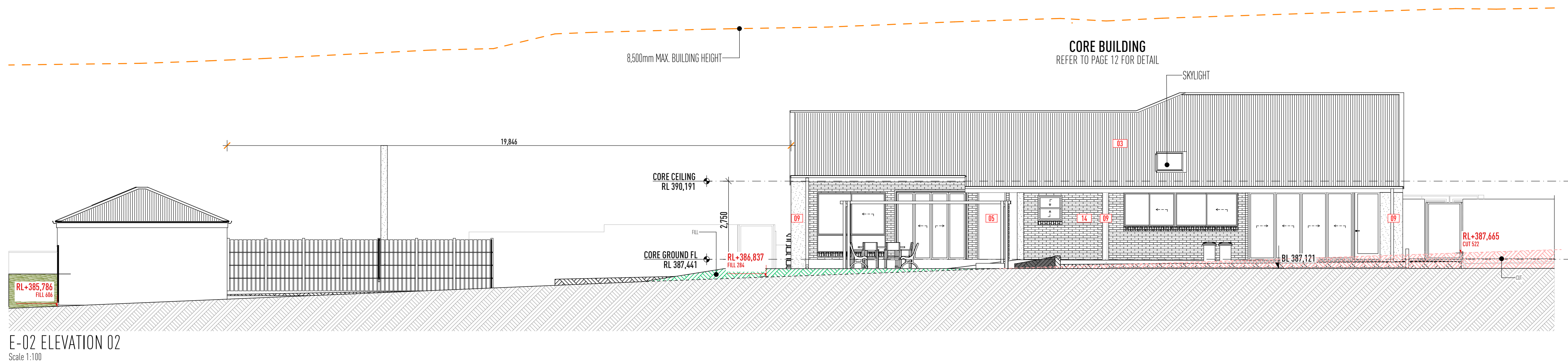
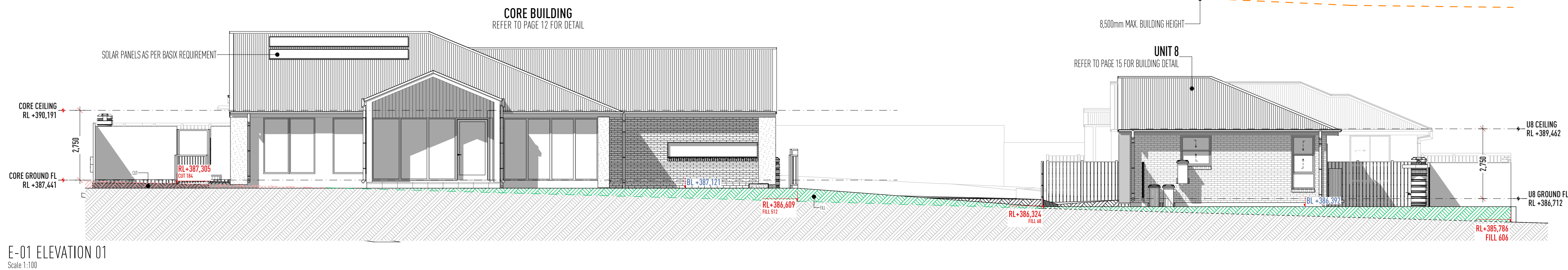
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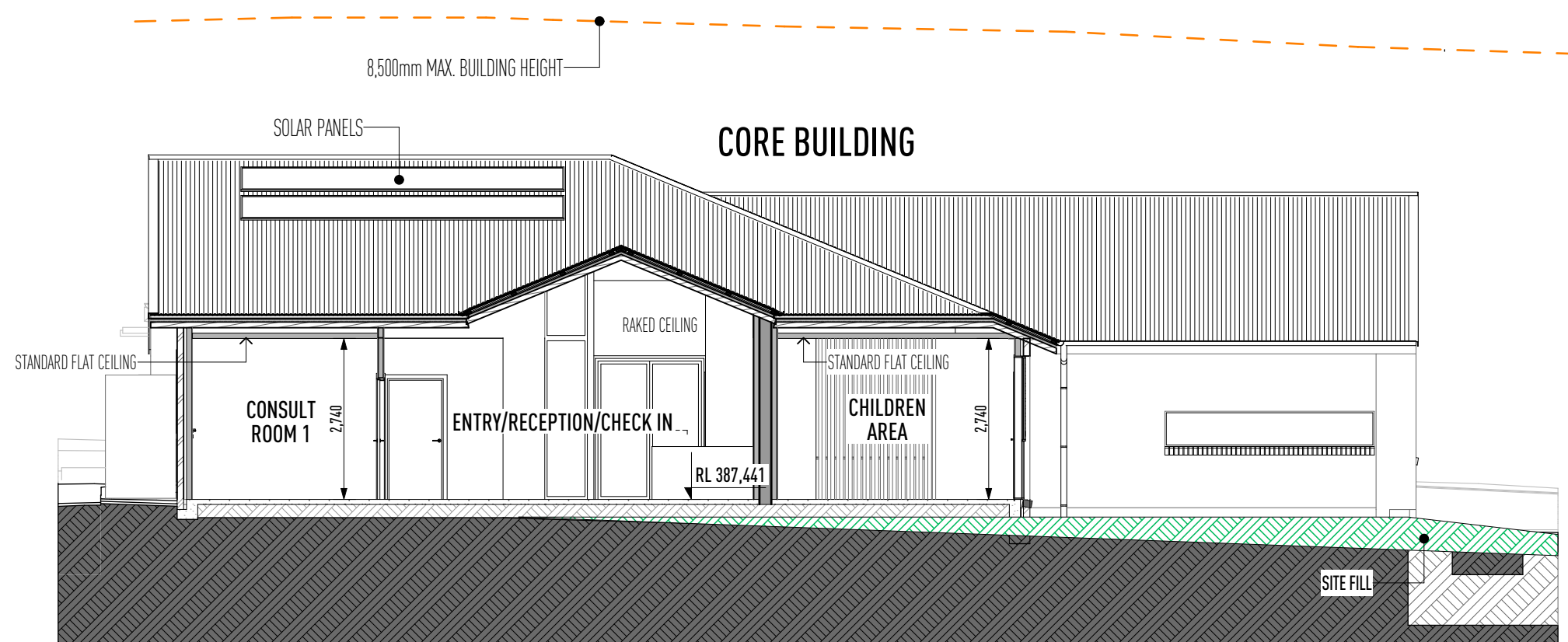




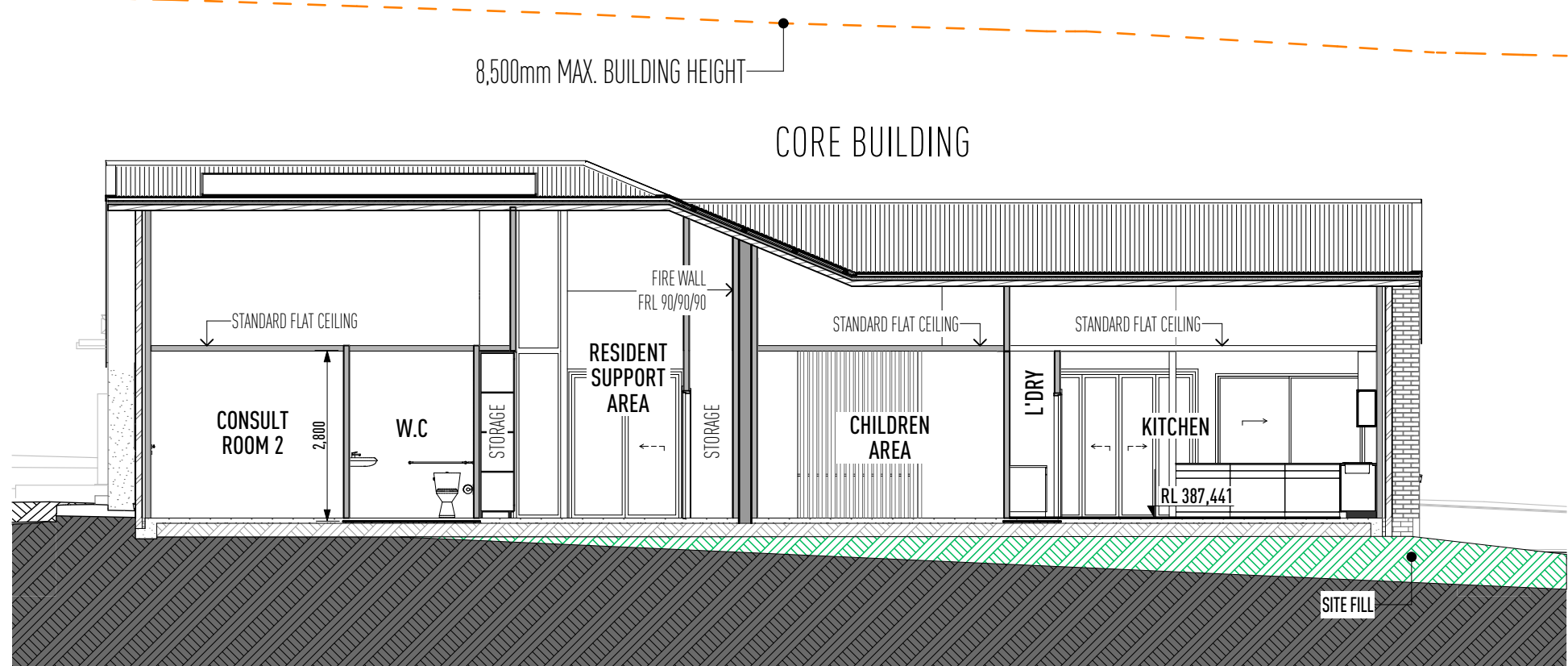
	<p><b>CORPORATE OFFICE</b>          13 Biny Street, Orange NSW 2801          E: <a href="mailto:design@housingplus.com.au">design@housingplus.com.au</a>          W: <a href="http://www.housingplus.com.au">www.housingplus.com.au</a>          ABN: 63 147 459 461</p>	<p>• THE DRAWING HAS BEEN PREPARED BASED ON INFORMATION SUPPLIED BY OTHERS. HOUSING PLUS WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.          • IF A WORK IS DESCRIBED IN THIS DRAWING AS CHECKED BY COMPANY WORKS, IT CAN BE TAKEN TO BE CORRECTED BY THE COMPANY WORKS WITHOUT THE PERMISSION OF HOUSING PLUS.          • BUILDERS MUST FOLLOW SPECIFICATIONS AND PRECEDENTS DERIVED FROM PLANS, DETAILS, COLOURS, FINISHES AND FIXTURES.</p>	<p>PROJECT ADDRESS  <b>LOT 64 CRAWFORD/DAYAL STREET EAST TAMWORTH,          NSW, 2340          DP205692</b></p>	<p>• THE DRAWING HAS BEEN PREPARED BASED ON INFORMATION SUPPLIED BY OTHERS. HOUSING PLUS WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.          • IF A WORK IS DESCRIBED IN THIS DRAWING AS CHECKED BY COMPANY WORKS, IT CAN BE TAKEN TO BE CORRECTED BY THE COMPANY WORKS WITHOUT THE PERMISSION OF HOUSING PLUS.          • BUILDERS MUST FOLLOW SPECIFICATIONS AND PRECEDENTS DERIVED FROM PLANS, DETAILS, COLOURS, FINISHES AND FIXTURES.</p>	<p>DESIGN TEAM ARCHITECT  <b>IAN BASSETT          KENNEDY LANE 4807</b></p> <p>PROJECT MANAGER  <b>ANGUS DONNELLY          PH: 0448 307 783</b></p> <p>CONTRACTOR/CLERK  <b>TRICORD ENGINEERING          PH: 13 237 674</b></p>	<p>APPROVAL  <b>TRICORD ENGINEERING          PH: 13 237 674</b></p> <p>DECK CONSULTANT  <b>MICHAEL KIRBY          PH: 0448 480 615</b></p> <p>LANDSCAPE CONSULTANT  <b>DA LANDSCAPES          PH: 0448 480 147</b></p>	<p>PROJECT  <b>PROPOSED TAMWORTH GROUP HOME          WITH 8 DWELLINGS &amp; COMMUNITY FACILITY</b></p>
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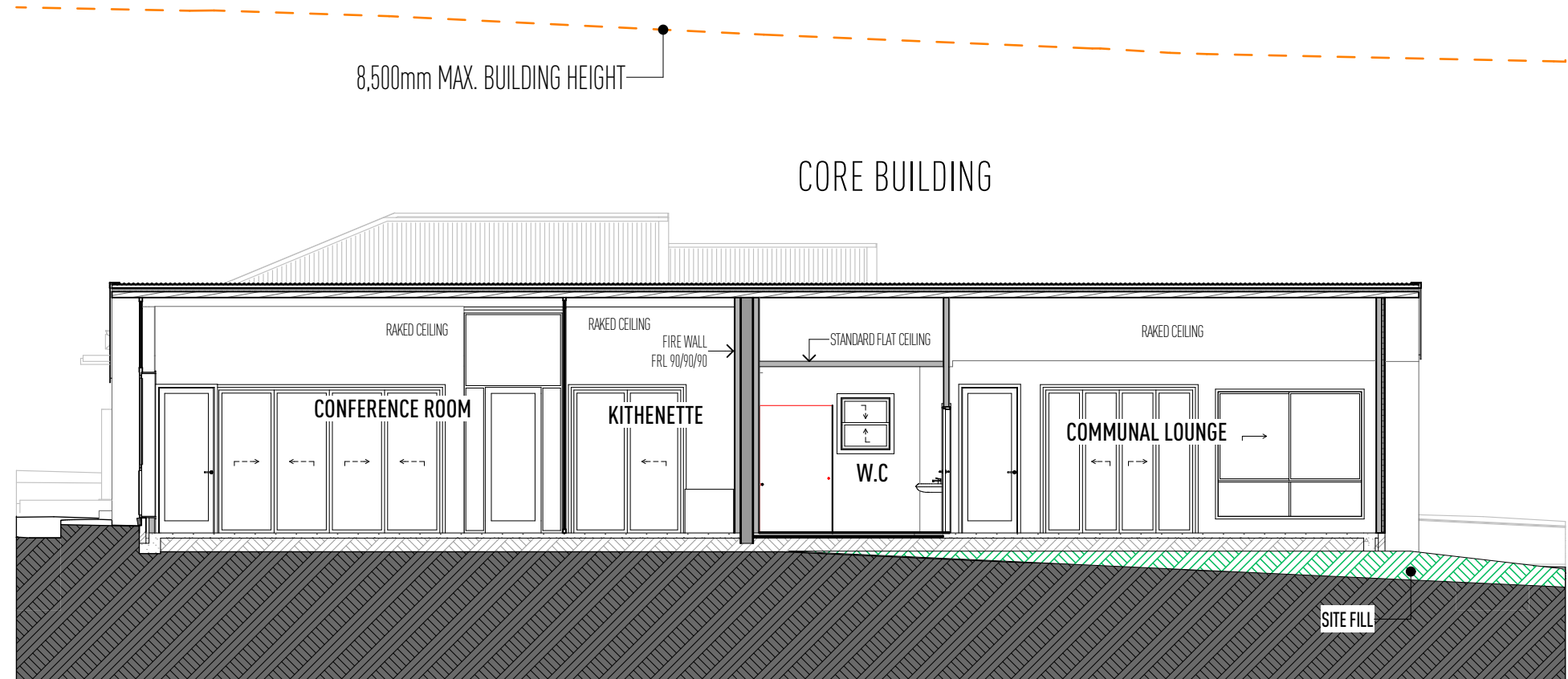




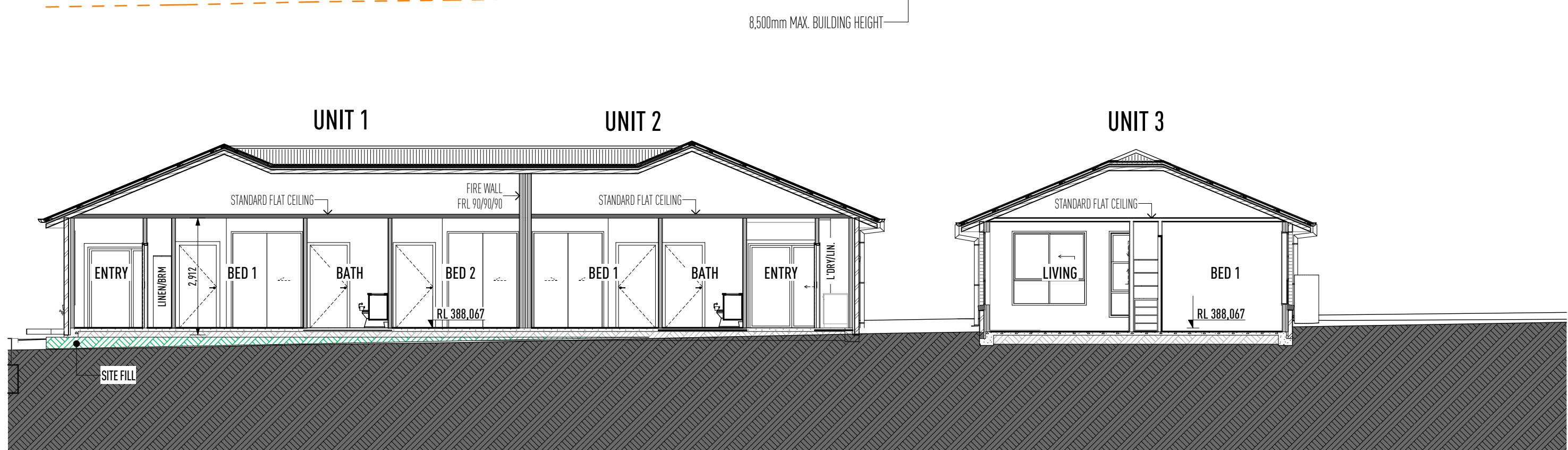
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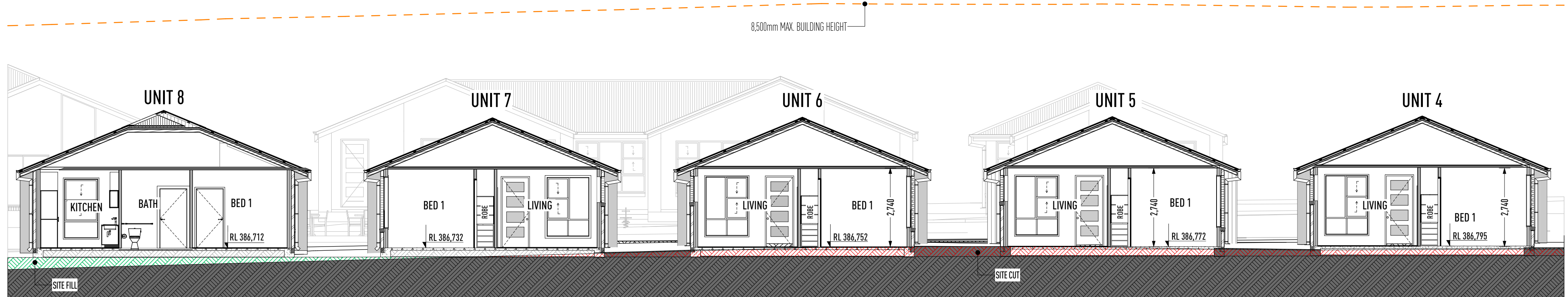
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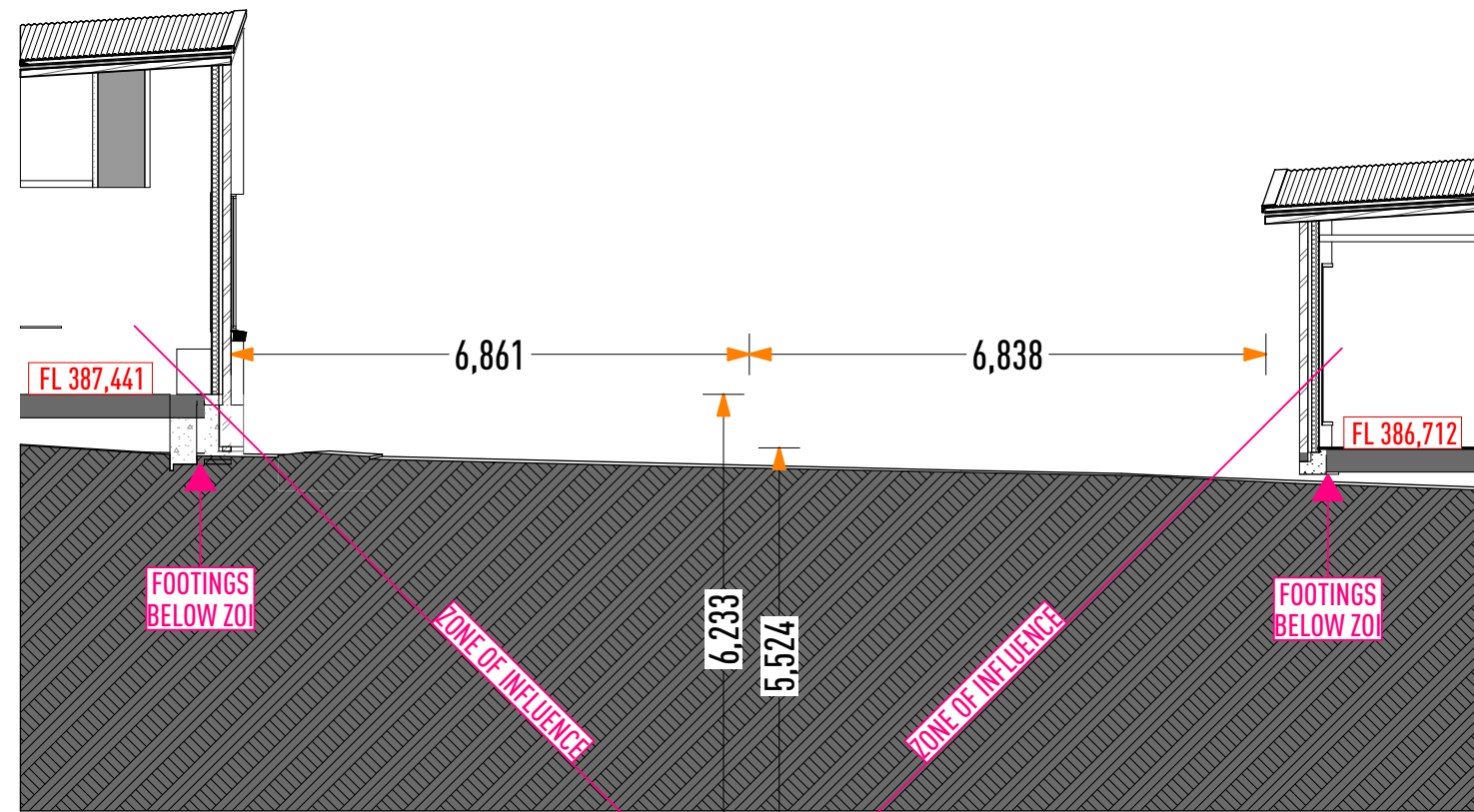
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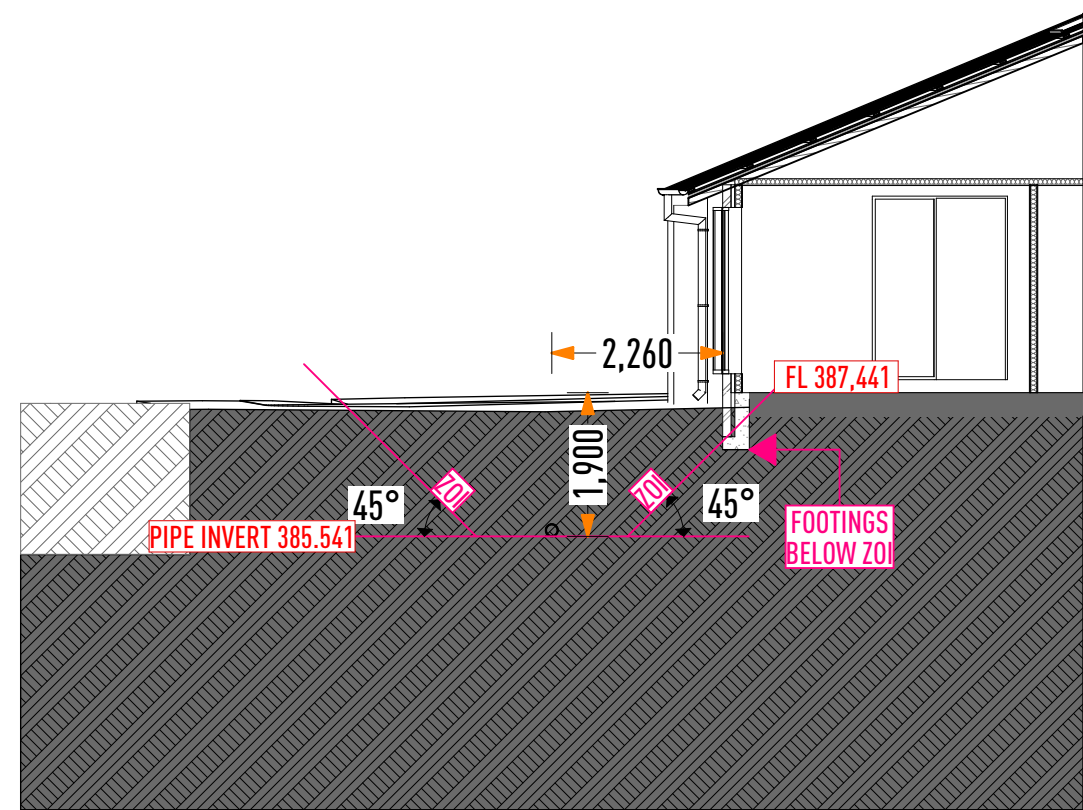
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S-05 SECTION 05  
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S-06 SEWER ZONE OF INFLUENCE SECTION  
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S-07 SEWER ZONE OF INFLUENCE SECTION  
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**NOTE**

- GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.
- ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR ENGINEER'S WIND RATING CONDITIONS.
- STEEL ROOFING TO COMPLY WITH AS1562.1
- PROVIDE ALCOB BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED

**NOTE**

- TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010
- ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD
- TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 REVISED 2014
- W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC. F3.8.3.3
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC. F3.8.1.2
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC. F.3.7.2
- ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE. (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC 3.7
- REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS
- RECESS ALL EXTERIOR DOOR TRACKS/SILLS
- FINISHED RL'S TO BE CONFIRMED ON-SITE
- TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE
- THRESHOLD DETAIL TO BE CO-ORDINATED WITH WINDOW & DOOR MANUFACTURER'S DETAILS TO MAINTAIN WARRANTY.
- STRUCTURAL RL'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE
- ALL STEP-DOWNS & REBATES TO BE CONFIRMED ON-SITE
- FLOOR FINISHES MUST BE AS/ISO9239
- WALL AND CEILING FINISHES MUST MEET A21530.4-2014
- PROPOSED DUCTED AIR CONDITIONING SYSTEM TO MEET AS4254

**BAL 12.5 NOTE**

TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5 TO AS3959-2009

- SPARK ARRESTERS (S/S) MESH TO BRICKWORK WEEP HOLES
- WATER & GAS SUPPLY PIPES IF ABOVE GROUND SHALL BE METAL
- NON-CORROSIVE METAL FLYSCREENS TO THE OPENING SECTION OF ALL WINDOWS, SLIDING DOORS & HINGED EXTERNAL DOORS
- PROVIDE TOUGHENED GLASS TO THE LOMUTE ONLY OF ALL 2100/2400 HIGH WINDOWS TO COMPLY WITH BAL 12.5
- HINGED ENTRY DOOR FRAME (STAINED) WITH BUILDERS SIDE LIGHT TO COMPLY WITH BAL 12.5
- WEATHER SEAL AROUND GARAGE PANELSET OR ROLLER DOOR. MAX. 3MM GAP
- VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS.
- ROOF SHALL BE FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5. SARKING SHALL COVER THE ENTIRE ROOF, INCLUDING THE RIDGE & EXTEND INTO THE GUTTERS & VALLEYS
- GABLES SHALL BE SARKED, HAVE FIBRE CEMENT EXTERNAL CLADDING WITH A 10MM MIN THICKNESS
- ROOF & GABLE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE STEEL MESH (NON-COMBUSTIBLE) (S/S FOR EAVE SHEETS) WITH MAX. 2MM APERTURE
- RAINWALL MOUNTED GAS UNIT SHALL HAVE A RECESS METAL BOX ASSEMBLY
- ANY MATERIALS USED TO STOP LEAVES COLLECTING IN THE ROOF GUTTER OR VALLEY SYSTEM SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS 1530.2



CORE AND COMMUNAL WINDOW SCHEDULE													
ID	W-01	W-02	W-03	W-04	W-04	W-04A	W-05	W-06	W-07	W-08	W-09	W-10	W-11
W x H	930x2,450	1,100x2,450	1,310x2,200	1,010x2,200	3,440x2,400	3,440x2,528	2,210x1,200	850x900	2,410x2,100	1,210x4,689	1,810x1,800	3,564x600	610x2,440
HEAD HEIGHT	2,440	2,450	2,450	2,450	2,650	5,178	2,350	2,300	2,350	4,689	3,200	1,500	2,440
ELEVATION													
NOTE						WINDOW TO BE ABOVE W-04, VIEW ELEVATION: 04		OBSCURE GLAZING					

UNIT 1 AND 2 WINDOW SCHEDULE									
ID	W-01, W-02	W-03	W-04, W-05	W-06	W-07	W-08	W-09, W-10	W-11	W-12
HOUSE	UNIT 1	UNIT 1	UNIT 1	UNIT 2	UNIT 2	UNIT 2	UNIT 1, UNIT 1	UNIT 1	UNIT 1
W x H	910x1,800	1,810x1,800	1,210x1,029	1,210x1,800	2,170x600	1,450x1,200	2,410x1,800	1,570x1,200	2,410x1,800
HEAD HEIGHT	2,566	2,566	2,566	2,566	2,566	2,566	2,566	2,480	2,480
ELEVATION									
QUANTITY	2	1	2	1	1	1	2	1	1
NOTES						OBSCURE GLAZING		OBSCURE GLAZING	

UNIT 3 WINDOW SCHEDULE							
ID	W-01, W-02	W-03	W-04	W-05, W-07	W-06	W-08	W-09
W x H	1,610x1,810	1,810x1,800	910x2,100	1,610x1,800	1,610x1,200	2,410x900	850x1,800
HEAD HEIGHT	2,480	2,480	2,480	2,480	2,480	2,480	2,480
ELEVATION							
QUANTITY	2	1	1	2	1	1	1
NOTES					OBSCURE GLAZING		

UNIT 4 WINDOW SCHEDULE							
ID	W-01	W-02	W-03, W-05	W-04	W-06	W-07	W-08, W-09
W x H	1,510x2,100	1,210x1,500	1,610x1,800	1,610x1,200	1,610x1,200	1,610x1,800	1,610x900
HEAD HEIGHT	2,480	2,480	2,480	2,480	2,480	2,100	2,480
ELEVATION							
QUANTITY	1	1	2	1	1	1	2
NOTES				OBSCURE GLAZING			

UNIT 5 WINDOW SCHEDULE							
ID	W-01	W-02	W-03, W-05	W-04	W-06	W-07	W-08, W-09
W x H	1,510x2,100	1,210x1,500	1,610x1,800	1,610x1,200	1,610x1,200	1,610x1,800	1,610x900
HEAD HEIGHT	2,480	2,480	2,480	2,480	2,480	2,100	2,480
ELEVATION							
QUANTITY	1	1	2	1	1	1	2
NOTES				OBSCURE GLAZING			

UNIT 6 WINDOW SCHEDULE							
ID	W-01	W-02	W-03, W-05	W-04	W-06	W-07	W-08, W-09
W x H	1,510x2,100	1,210x1,500	1,610x1,800	1,610x1,200	1,610x1,200	1,610x1,800	1,610x900
HEAD HEIGHT	2,480	2,480	2,480	2,480	2,480	2,100	2,480
ELEVATION							
QUANTITY	1	1	2	1	1	1	2
NOTES				OBSCURE GLAZING			

UNIT 7 WINDOW SCHEDULE						
ID	W-01	W-02	W-03, W-05, W-07	W-04	W-06	W-08, W-09
W x H	1,510x2,100	1,210x1,500	1,610x1,800	1,610x1,200	1,610x1,200	1,610x900
HEAD HEIGHT	2,480	2,480	2,480	2,480	2,480	2,480
ELEVATION						
QUANTITY	1	1	3	1	1	2
NOTES				OBSCURE GLAZING		

U8 WINDOW SCHEDULE							
ID	W-01, W-02	W-03	W-04	W-05	W-06	W-07	W-08
W x H	1,210x2,100	1,210x1,200	910x2,100	910x1,100	1,810x1,800	2,110x600	610x1,800
HEAD HEIGHT	2,480	2,480	2,480	2,480	2,480	2,480	2,480
ELEVATION							
QUANTITY	2	1	1	1	1	1	1
NOTES				BATHROOM			

CORE & COMMUNAL DOOR SCHEDULE					
ID	D-01	D-02, D-03, D-04, D-07	D-05	D-07	D-08
W x H	1,210x2,400	920x2,400	3,730x2,400	2,170x2,400	2,510x2,400
R/L	L	R		R	
ELEVATION					
QUANTITY	1	4	1	1	1
NOTE	SECURITY SCREEN REQUIRED				

UNIT 1 AND 2 DOOR SCHEDULE		
ID	D-01, D-04	D-02, D-03
HOUSE	UNIT 1, UNIT 2	UNIT 1, UNIT 2
W x H	920x2,340	2,170x2,100
ELEVATION		
QUANTITY	2	2
NOTES	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

UNIT 3 DOOR SCHEDULE		
ID	D-01	D-02
W x H	920x2,450	1,570x2,100
ELEVATION		
NOTES	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

UNIT 4 DOOR SCHEDULE		
ID	D-01	D-02
W x H	920x2,450	2,050x2,100
ELEVATION		
NOTES	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

UNIT 5 DOOR SCHEDULE		
ID	D-01	D-02
W x H	920x2,450	2,050x2,100
ELEVATION		
NOTES	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

UNIT 6 DOOR SCHEDULE		
ID	D-01	D-02
W x H	920x2,450	2,050x2,100
ELEVATION		
NOTES	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

UNIT 7 DOOR SCHEDULE		
ID	D-01	D-02
W x H	920x2,450	2,050x2,100
ELEVATION		
NOTES	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

U8 DOOR SCHEDULE		
ID	D-01	D-02
W x H	920x2,450	1,570x2,100
R/L	R	L
ELEVATION		
QTY	1	1
NOTE	OBSCURE GLAZING / SECURITY SCREEN REQUIRED	

CORE & COMMUNAL INTERNAL DOOR SCHEDULE							
ID	ID-01, ID-02, ID-03	ID-04	ID-05	ID-06	ID-07	ID-07	ID-08
ROOM	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN		CORE COMMUNAL	CORE COMMUNAL
W x H	920x2,040	1,440x2,072	1,850x2,400	920x2,400	1,740x2,022	920x2,040	520x2,040
ELEVATION							
QUANTITY	3	1	1	1	1	1	1
NOTES							

UNIT 1 AND 2 INTERNAL DOOR SCHEDULE				
ID	ID1-01, ID2-02	ID1-02, ID2-01	ID1-03	ID1-04
HOUSE	UNIT 1, UNIT 2	UNIT 1, UNIT 2	UNIT 1	UNIT 1
ROOM	BED 1	BATHROOM	BED 2	HALLWAY
W x H	920x2,040	920x2,040	920x2,040	920x2,040
ELEVATION				
QUANTITY	2	2	1	1
NOTES				

UNIT 3 INTERNAL DOOR SCHEDULE				
ID	ID3-01	ID3-02	ID3-03	ID3-04
ROOM	BED 2	BATHROOM	BED 1	LAUNDRY
W x H	920x2,040	920x2,040	920x2,040	920x2,100
ELEVATION				
NOTES				CAVITY SLIDER

UNIT 4 INTERNAL DOOR SCHEDULE			
ID	ID4-01	ID4-02	ID4-03
ROOM	BED 1	BATHROOM	BED 2
W x H	920x2,040	920x2,040	920x2,040
ELEVATION			
NOTES			

UNIT 5 INTERNAL DOOR SCHEDULE			
ID	ID5-01	ID5-02	ID5-03
ROOM	BED 1	BATHROOM	BED 2
W x H	920x2,040	920x2,040	920x2,040
ELEVATION			
NOTES			

UNIT 6 INTERNAL DOOR SCHEDULE			
ID	ID6-01	ID6-02	ID6-03
ROOM	BED 1	BATHROOM	BED 2
W x H	920x2,040	920x2,040	920x2,040
ELEVATION			
NOTES			

UNIT 7 INTERNAL DOOR SCHEDULE			
ID	ID7-01	ID7-02	ID7-03
ROOM	BED 1	BATHROOM	BED 2
W x H	920x2,040	920x2,040	920x2,040
ELEVATION			
NOTES			

U8 INTERNAL DOOR SCHEDULE		
ID	ID8-01	ID8-02
ROOM	BED 1	BATHROOM
W x H	920x2,040	920x2,040
ELEVATION		
NOTES		

### NOTE

- ALL WINDOWS AND DOORS GLAZING AND FRAME TYPES MUST BE VERIFIED WITH THE APPROVED SECTION J/BASIS CERTIFICATE
- ALL WINDOWS AND DOORS DIMENSIONS MUST BE VERIFIED ON SITE
- KEY LOCKS TO ALL WINDOWS WITH THE ABILITY TO BE LOCKED AT 100MM OPEN POSITION. ALL WINDOW LOCKS TO BE KEYED THE SAME FOR EACH UNIT
- SECURITY SCREENS ALL WINDOWS, INVISI-GARD OR SIMILAR WITH EMERGENCY ESCAPE, TO BE APPROVED BY HOUSING PLUS
- ROLLER BLINDS TO ALL WINDOWS (EXCLUDING BATHROOM) AS PER PLANS
- VERTICAL BLINDS ON GLAZED DOORS

### BAL 12.5 NOTE

TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5 TO AS3959:2009

- SPARK ARRESTERS (SIS MESH) TO BRICKWORK KNEEPOLES
- WATER BATOR GAS SUPPLY PIPES IF ABOVE GROUND SHALL BE METAL
- NON-CORROSIVE METAL FLYSCREENS TO THE OPENING SECTION OF ALL WINDOWS, SLIDING DOORS & HINGED EXTERNAL DOORS
- PROMOTE TOUGHENED GLASS TO THE LOWEST ONLY OF ALL 2100/2400 HIGH WINDOWS TO COMPLY WITH BAL 12.5
- HINGED ENTRY DOOR FRAME (STAINED WITH BUILDERS SLOEIGHT TO COMPLY WITH BAL 12.5
- WEATHER SEAL AROUND GARAGE PANELIFT OR ROLLER DOOR. MAX. 3MM GAP.
- VEHICLE ACCESS DOORS SHALL NOT HAVE VENTILATION SLOTS.
- ROOF'S SHALL BE FULLY SHARDED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5. SHARDED SHALL COVER THE ENTIRE ROOF, INCLUDING THE RIDGE & EXTEND INTO THE GUTTERS & VALLEYS
- CABLES SHALL BE SHARDED, HAVE FIBRE CEMENT EXTERNAL CLADDING WITH A 6MM MIN. THICKNESS
- ROOF & EAVE PENETRATIONS SHALL BE SCREENED WITH NON-CORROSIVE STEEL MESH (NON-COMBUSTIBLE) (SIS FOR EAVE SHEETS) WITH MAX. 2MM APERTURE.
- RINNVA WALL MOUNTED GAS UNIT SHALL HAVE A RECESS METAL BOX ASSEMBLY
- ANY MATERIALS USED TO STOP LEAVES COLLECTING IN THE ROOF GUTTER OR VALLEY SYSTEM SHALL HAVE A FLAMMABILITY INDEX OF NOT GREATER THAN 5 WHEN TESTED IN ACCORDANCE WITH AS 1530.2